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ABN: 38 393 903 860

Your Ref:

Our Ref: SDW3159/21
WYP11481/19

Enquiries: Andrew Quach
Tel: (03) 9742 0760

08 December 2021

Spiire Australia Pty Ltd
L 6 414 La Trobe St
MELBOURNE VIC 3000

Dear Mithun Ranjanan

RE: MAMBOURIN STAGE 16 - CONSTRUCTION PLAN APPROVAL

Please be advised that the road and drainage construction plans submitted to Council for Mambourin Stage 16 are approved subject to the following conditions:-

1. **Prior to commencement of works, an on-site pre-commencement meeting must be held between Council, the Engineering Consultant and the Contractor. Please contact Darren Maskell from Council on 0419 373 676 to book a precommencement meeting.**
2. **Prior to installation of any Tactile Ground Surface Indicators, the proposed product must be inspected and approved by Council. Please notify Councils construction supervisor to book an inspection prior to installation.**
3. **Prior to commencement of works, the Plan of Subdivision must be certified by Council.**
4. **Prior to commencement of approved works within ANY existing road reserves, the consultant/contractor MUST apply for consent to work within the road reserves from Council or any other relevant responsible authorities. The Contractor will be responsible for maintain all existing assets within the limit of works as demonstrated on the approved plans.**
5. **A free-flowing drainage outlet must be established and maintained throughout the entirety of construction works. No road boxing works are to commence in the absence of a free-flowing drainage outlet.**
6. Prior to commencement of works, the consultant/contractor shall provide to Council the following information:-
 - source of quarry material; and
 - optimum moisture content and maximum modified dry density of the F.C.R to be used (from N.A.T.A. approved laboratory).

If the source of the quarry material is changed during the course of the works, new test results shall be provided.

7. Prior to the commencement of works, a Site Environmental Management Plan (SEMP) must be submitted to and **approved** by Council.
8. Construction is to commence within twelve (12) months of approval, otherwise construction plans and specifications are to comply with design standards current at the time of re-submission.
9. Filled allotments shall be compacted in 150mm maximum layers, with compaction tests being taken at not more than 300mm lift on all allotments and filled areas. The test results and location of the tests on each allotment shall be forwarded to Council.

10. Wyndham City Council Specifications and standard details shall be read in conjunction with the approved plans.
11. Prior to Council issuing a Statement of Compliance, pursuant to the Subdivision Act 1988, your firm shall provide to Council the following:
 - Payment of construction supervision fees amounting to 2.5% of the total cost of road and drainage works;
 - Payment of a maintenance bond amounting to 5% of the total cost of road and drainage works;
 - An electronic copy of all as constructed drawings and relevant files in both AutoCad DWG and Adobe PDF file formats, to either subdiveng@wyndham.vic.gov.au or via Objective Connect. Please note that the minimum resolution of PDF files required is 300dpi;
 - An electronic copy of drainage catchment plans and detailed computations in Adobe PDF file format to either subdiveng@wyndham.vic.gov.au or via Objective Connect;
 - As constructed asset information for drainage and related assets in digital format in accordance with "D-Spec" to either subdiveng@wyndham.vic.gov.au or via Objective Connect; and
 - As-constructed asset information for assets within the road reserve in digital format in accordance with "R-Spec" to either subdiveng@wyndham.vic.gov.au or via Objective Connect; and
 - The A.H.D levels and M.G.A co-ordinates of the high stability P.S.Ms.
 - For further information please see: <https://www.wyndham.vic.gov.au/subdivisionguidelines>
12. Easements are to be created to cover all services which cross any part of private allotments.
13. During construction of works under this permit, access to and egress from the subject land must be via a route designed and approved by the Council. Where practical this access should be remote from established residential areas.
14. Provide Landscaping Plan for approval by Council. Please contact subdivlud@wyndham.vic.gov.au to arrange a pre-application meeting prior to the submission of landscape plans for municipal reserves and/or public open space.
15. WorkSafe Victoria is to be advised via E-mail (construction@workcover.vic.gov.au) of these Subdivisional works with the following details:
 - Name of the principal contractor
 - Name and phone contact of relevant Engineering Consultants supervisor dealing with the works
 - Brief description of the works
 - Locality/address of the works
 - Estimated commencement date of the works, and
 - Expected completion date of the works.
16. In undertaking the construction works, the developer shall ensure all works are undertaken in accordance with the OH & S Act, Regulation and Codes, and shall maintain a safe workplace for Council's staff undertaking inspections. The supervision of works by Council staff only extends to the quality of Council's future infrastructure and does not include ensuring that the works are undertaken safely.

Please find a set of stamped approved plans attached.

Yours sincerely,



APRYL ASTUDILLO

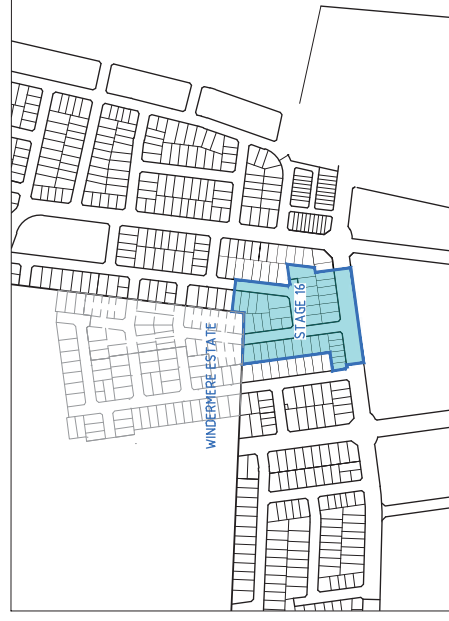
SENIOR DEVELOPMENT ENGINEER

Encl: (1) Stamped approved plans

MAMBOURIN ESTATE STAGE 16 FRASERS PROPERTY

GENERAL NOTES:

- ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM AND ALL COORDINATES ARE TO MAP GRID OF AUSTRALIA (MGA) ZONE 55.
- ALL EXISTING SURFACE LEVELS SHOWN ON THE ENGINEERING DRAWINGS HAVE BEEN DETERMINED FROM A DIGITAL TERRESTRIAL MODEL. THESE LEVELS HAVE BEEN USED AS THE BASIS FOR ALL ENGINEERING DESIGN AND DETERMINATION OF QUANTITIES AND ARE ACCURATE TO WITHIN ±50mm.
- ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH AS2712-192 GENERAL CONSTRUCTION AND AS4100-2001 ROAD CONSTRUCTION. ALL ROADWORK SHALL BE IN ACCORDANCE WITH THE LOCAL COUNCIL'S STANDARD DRAWINGS AND TO THE SATISFACTION OF THE SUPERINTENDENT AND THE MUNICIPAL ENGINEER OR HIS REPRESENTATIVE. ROAD CHANGES REFER TO ROAD CENTRELINES, CHANGES FOR INTERSECTIONS AND CUT-BACKS REFER TO THE LIP OF KERB.
- THE LOCATION OF EXISTING SERVICES SHOULD BE DETERMINED BY THE CONTRACTOR PRIOR TO COMMENCING ANY EXCAVATION BY CONTACTING ALL LOCAL SERVICE AUTHORITIES. ANY EXISTING SERVICES SHOWN ON THESE DRAWINGS ARE OFFERED AS A GUIDE ONLY, AND ARE NOT GUARANTEED AS CORRECT.
- WHERE REQUIRED ANY BUILDINGS, TROUPOUS, FENCES AND OTHER STRUCTURES ON SITE TO BE REMOVED OR DEMOLISHED SHALL BE IN ACCORDANCE WITH THE LOCAL COUNCIL'S STANDARD DRAWINGS AND TO THE SATISFACTION OF THE SUPERINTENDENT.
- ALL EXCAVATED ROCK AND SURPLUS SPILL TO BE REMOVED AND DISPOSED OFF SITE UNLESS NOTED OTHERWISE.
- ALL FILLING ON LOTS WITH ROAD RESERVES GREATER THAN 200mm IS TO BE UNDER TAKEN AT ALL LEVELS. SUPERVISION AND BE COMPLETED IN ACCORDANCE WITH AS 3794-2007. FILL AREAS ARE TO BE STRIPPED OF TOPSOIL, FILLED AND REPAVED WITH 150mm (WHERE REQUIRED) TO OBTAIN THE FINAL LEVELS SHOWN ON THE DRAWINGS.
- FILLING MATERIAL IS TO BE IN ACCORDANCE WITH THE SPECIFICATION, AS 3794-2007 & TO THE SATISFACTION OF COUNCIL AND THE SUPERINTENDENT.
- ALL BATTERS SHALL BE 1 IN 6, UNLESS OTHERWISE SHOWN.
- NO FILL OR TOPDRESSING OF MATERIAL IS TO BE OR DONE ON ANY RESERVE FOR PUBLIC OPEN SPACE UNLESS OTHERWISE DIRECTED OR APPROVED BY THE SUPERINTENDENT.
- WORK IS TO BE DONE IN ACCORDANCE WITH THE DESIGNER'S REQUIREMENTS AND TO THE COMPLETION OF CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR CARE AND MAINTENANCE OF T&K'S THEREAFTER.
- AT LEAST 3 DAYS PRIOR TO COMMENCING WORK ON EXCAVATIONS IN EXCESS OF 150mm DEPTH, A NOTIFICATION FORM MUST BE SENT TO WORKSAFE. THE CONTRACTOR IS TO COPY WITH WORKSAFE. THE MINES TRENDS (REGULATION 192), THE MINES ACT 1954 AND OCCUPATIONAL HEALTH AND SAFETY ACT 1985, 2001.
- ALL SERVICE TRENCHES UNDER DRIVEWAYS, FOOTPATHS AND PARKING BAYS TO BE INSTALLED AT A MINIMUM OF 150mm BELOW FINISHED GRADE AND TO BE BACKFILLED WITH COMPACTED CLASS 2 CRUSHED ROCK.
- GAS AND WATER CONDUITS ARE TO BE INSTALLED AT A MINIMUM OF 450mm (WATER) AND 600mm (GAS) BELOW FINISHED GRADE. ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING MINIMUM COVER TO FINISHED SURFACE LEVELS: ROAD PAVEMENT - 0.80m VERGE, FOOTPATHS - 0.50m
- ALL SERVICE CONDUIT TRENCHES UNDER ROAD PAVEMENTS TO BE BACKFILLED IN ACCORDANCE WITH RELEVANT MUNICIPALITY OR ROAD AUTHORITY SPECIFICATION.
- AG-GULLSON DRAIN TO BE LAID BEHIND KERB WHERE REQUIRED IN ACCORDANCE WITH THE METROPOLITAN PLANNING AUTHORITY STANDARD DRAWINGS AND CONNECTED TO UNDERGROUND DRAINAGE.
- CENTRELINES OF ALL EASEMENT DRAINS ARE OFFSET 1.0m OR 2.0m (WHERE OUTSIDE OF EASEMENT) FROM THE PROPERTY LINE UNLESS SHOWN OTHERWISE.
- WHERE CURVED PIPE ALIGNMENTS ARE SHOWN ON THE FALE PLANS THEY ARE TO BE LAD PARALLEL TO THE BACK OF KERB, EXCEPT WHERE A RADIUS HAS BEEN SPECIFIED. ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL COUNCIL'S STANDARD DRAWINGS.
- WATER TAPPINGS TO BE LOCATED IN CENTRE OF ALLOTMENTS UNLESS OTHERWISE SHOWN.
- OPTICOM IS TO BE NOTIFIED 7 DAYS PRIOR TO PLACEMENT OF CONCRETE WORKS.



LOCALITY PLAN
SCALE 1:600

DRAWING SCHEDULE

DRAWING	DESCRIPTION	SHEET No.	REVISION
EP00	GENERAL NOTES	1	0
EP20	ROAD LAYOUT PLANS	2	0
EP21	SERVICES PLAN	3	0
EP30	ROAD LONG SECTIONS - SHEET 1	4	0
EP31	ROAD LONG SECTIONS - SHEET 2	5	0
EP40	ROAD CROSS SECTIONS - SHEET 1	6	0
EP41	ROAD CROSS SECTIONS - SHEET 2	7	0
EP42	ROAD CROSS SECTIONS - SHEET 3	8	0
EP43	ROAD CROSS SECTIONS - SHEET 4	9	0
EP50	INTERSECTION DETAILS - SHEET 1	10	0
EP51	INTERSECTION DETAILS - SHEET 2	11	0
EP52	INTERSECTION DETAILS - SHEET 3	12	0
EP60	DRAINAGE LONG SECTIONS	13	0
EP61	DRAINAGE LONG SECTIONS & PIT SCHEDULE	14	0
EP70	PAVEMENT AND TYPICAL DETAILS	15	0
EP80	SIGNAGE AND LINESMARKING	16	0

Planning and Environment Act 1987

Wyndham Planning Scheme

Approved Plan As Required under Condition 43

Permit No WYP11481/19 Date 08/12/2021



WARNING
BEWARE OF UNDERGROUND/OVERHEAD SERVICES
UNLESS YOU KNOW EXACT POSITION AND DEPTH, EXCAVATION WORK CAN BE DANGEROUS. ALL EXISTING SERVICES ARE SHOWN. SPECIAL CONSIDERATION SHOULD BE GIVEN TO CONSTRUCTION PROCEDURES UNDER OVERHEAD ELECTRICAL TRANSMISSION LINES.

Sheet

Rev	Description	Approved	Date
0	DRAINAGE AMENDED TO SERVICE LOT 1606. ISSUED FOR CONSTRUCTION	MIR	28/11/21
C	AMENDED AS PER SCHEDULE & RE ISSUED TO COUNCIL	MIR	12/11/21
M	AMENDED & RE ISSUED TO COUNCIL	MIR	19/10/21
A	ISSUED FOR TENDER	MIR	13/09/21

LEGEND

DESCRIPTION	EXISTING	PROPOSED
WATER MAIN, VALVE AND HYDRANT	[Symbol]	[Symbol]
WATER RECYCLED	[Symbol]	[Symbol]
UNDERGROUND ELECTRICITY	[Symbol]	[Symbol]
TELECOMMUNICATIONS & SERVICE PIT	[Symbol]	[Symbol]
OPTIC FIBRE	[Symbol]	[Symbol]
OVERHEAD TELECOMMUNICATIONS	[Symbol]	[Symbol]
GAS MAIN	[Symbol]	[Symbol]
BRANCH SEWER & MAINTENANCE STRUCTURE	[Symbol]	[Symbol]
SEWER & MAINTENANCE STRUCTURE	[Symbol]	[Symbol]
SEWER RISING MAIN	[Symbol]	[Symbol]
CENTRAL INVERT	[Symbol]	[Symbol]
STORM WATER DRAIN AND PIT	[Symbol]	[Symbol]
COUNCIL STORM WATER PROPERTY INLETS	[Symbol]	[Symbol]
STORM WATER DRAIN AND PIT	[Symbol]	[Symbol]
COUNCIL STORM WATER PITS	[Symbol]	[Symbol]
AG DRAIN AND FLUSHER	[Symbol]	[Symbol]
HMK STORM WATER DRAIN & PIT	[Symbol]	[Symbol]
HMK STORM WATER PITS	[Symbol]	[Symbol]
STORM WATER DRAINAGE PIT NUMBER	[Symbol]	[Symbol]
GAS & WATER CONDUITS	[Symbol]	[Symbol]
CONCRETE VEHICLE CROSSING	[Symbol]	[Symbol]
PAVEMENT SAWCUT LINE	[Symbol]	[Symbol]
RISE / CHANGE OF GRADE LINE	[Symbol]	[Symbol]
SURFACE CONTOUR MINOR	[Symbol]	[Symbol]
SURFACE CONTOUR MAJOR	[Symbol]	[Symbol]
SURFACE LEVEL	[Symbol]	[Symbol]
BATTER LEVEL (TOP / BOT)	[Symbol]	[Symbol]
RETAINING WALL LEVEL (TOP/BOTTOM)	[Symbol]	[Symbol]
EARTHWORKS GRADE	[Symbol]	[Symbol]
SIGN AND POST	[Symbol]	[Symbol]
LIGHT & POLE (BY OTHERS)	[Symbol]	[Symbol]
STREET SIGN	[Symbol]	[Symbol]
PERMANENT SURVEY MARK	[Symbol]	[Symbol]
TEMPORARY BENCH MARK	[Symbol]	[Symbol]
BOLLARD	[Symbol]	[Symbol]
ROAD CHANGES	[Symbol]	[Symbol]
LOT CHANGES	[Symbol]	[Symbol]
SETOUT POINT	[Symbol]	[Symbol]
LIMIT OF WORKS	[Symbol]	[Symbol]
BATTER	[Symbol]	[Symbol]
EXCAVATION GREATER THAN 0.20m	[Symbol]	[Symbol]
FILING GREATER THAN 0.20m	[Symbol]	[Symbol]
ROCK BEACHING	[Symbol]	[Symbol]
RETAINING WALL	[Symbol]	[Symbol]
FENCE - TREE PROTECTION	[Symbol]	[Symbol]
FENCE - VEHICLE EXCLUSION	[Symbol]	[Symbol]
FENCES	[Symbol]	[Symbol]
GUARD RAIL	[Symbol]	[Symbol]
TREE (IF SURVEYED CANOPY) TO BE RETAINED	[Symbol]	[Symbol]
TREE TO BE PROTECTED	[Symbol]	[Symbol]
TREE TO BE REMOVED	[Symbol]	[Symbol]
VEGETATION LINE	[Symbol]	[Symbol]
FOOTPATH	[Symbol]	[Symbol]
TACTILE GROUND SURFACE INDICATOR	[Symbol]	[Symbol]
KEFB TRANSITION	[Symbol]	[Symbol]



MAMBOURIN ESTATE
STAGE 16
ROAD AND DRAINAGE
GENERAL NOTES
CITY OF WYNDHAM
FRASERS PROPERTY

Mambourin

FRASERS PROPERTY

Designed by **M RAHMAN**
Approved by **M/READMAN**
Checked
Date **AUG-2021**

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**Planning and Environment Act 1987
Wyndham Planning Scheme**

**Approved Plan As Required
under Condition 43
Permit No WYP11481/19
Date 08/12/2021**

WARNING
BEWARE OF UNDERGROUND/OVERHEAD SERVICES
THE LOCATION OF SERVICES ARE APPROXIMATE ONLY AND THEIR
EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS
MADE AS TO THE LOCATION OF SERVICES. CONSIDERATION SHOULD BE GIVEN TO CONSTRUCTION PROCEDURES
UNDER OVERHEAD ELECTRICITY TRANSMISSION LINES.

**MAMBOURIN ESTATE
STAGE 16
ROAD AND DRAINAGE
ROAD LAYOUT PLANS
CITY OF WYNDHAM
FRASERS PROPERTY**

Mamboourin

Checked
Date
AUG-2021

Designed
M RAHMAN
Approved
M READMAN

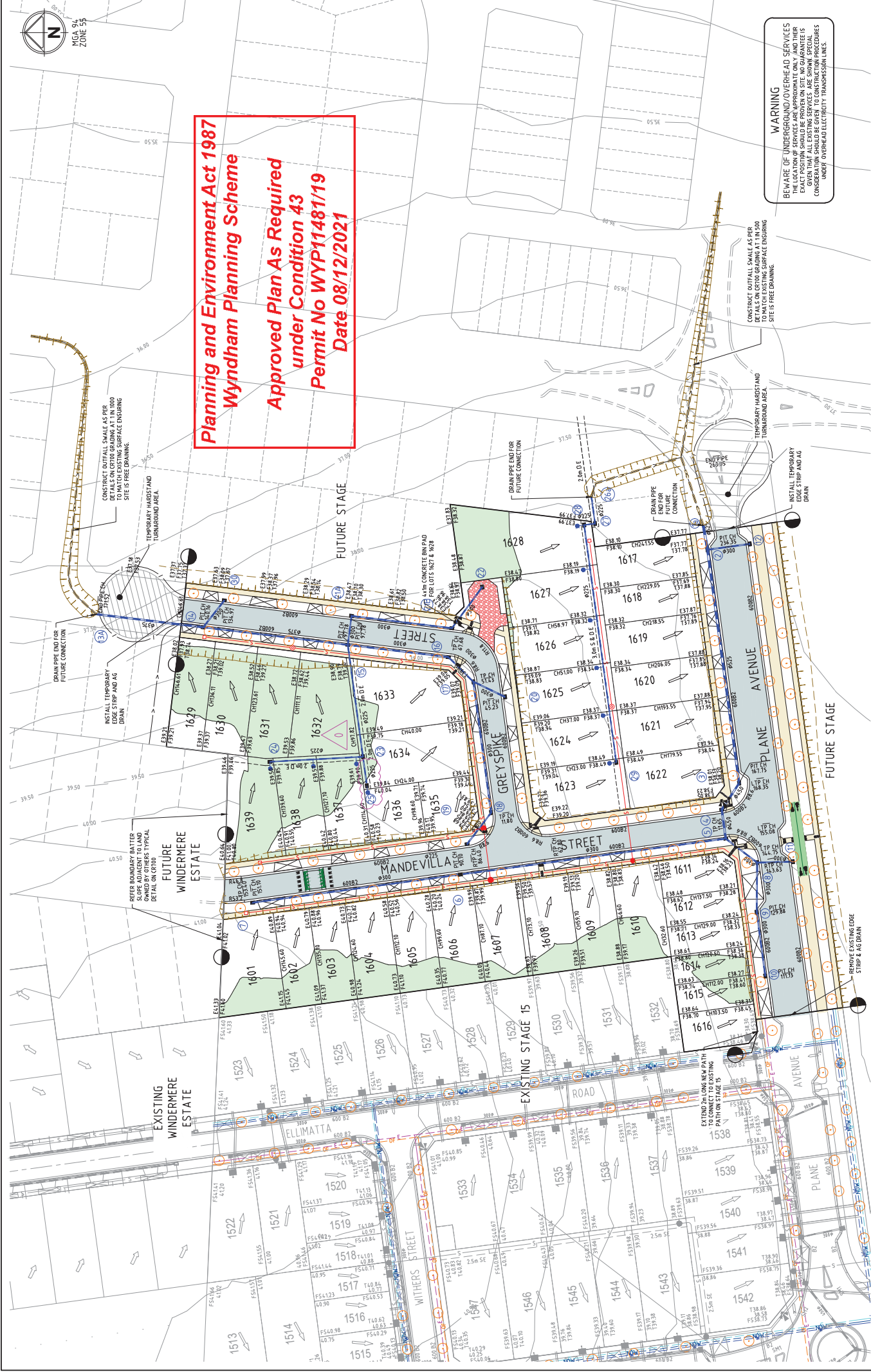
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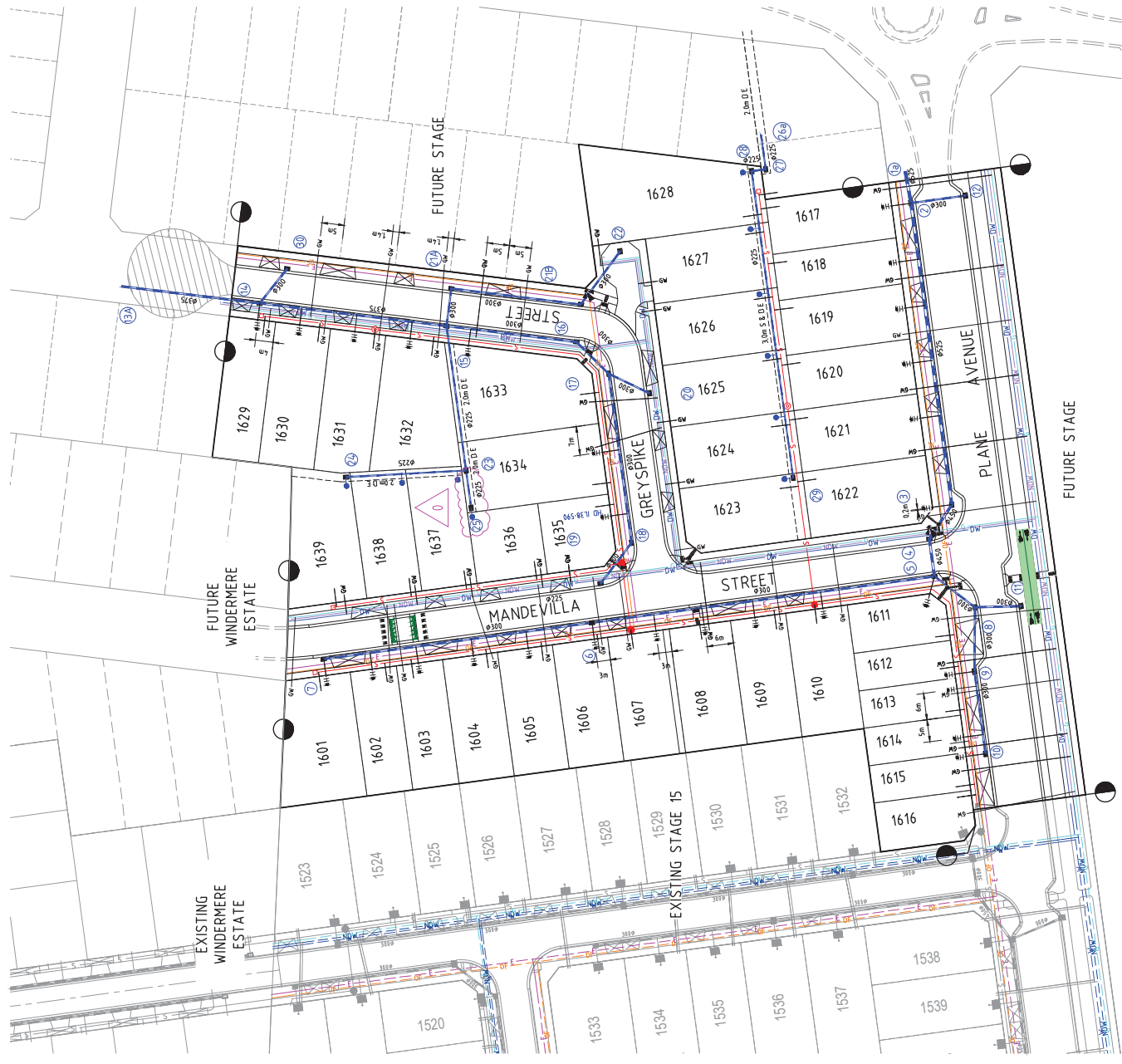
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Scale 1:1000
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Rev	Amendment	Approved	Date
0	DRAINAGE AMENDED TO SERVICE LOT 1606. ISSUED FOR CONSTRUCTION	MIR	28/11/21
1	AMENDED FOR COUNCIL COMMENTS AS PER CLOUDING	MIR	15/10/21
2	AMENDED AS PER CLOUDING & TREES SHOWN. RE ISSUED TO COUNCIL	MIR	19/10/21
3	ISSUED FOR TENDER	MIR	13/09/21
4	ISSUED FOR TENDER	MIR	13/09/21



**Planning and Environment Act 1987
Wyndham Planning Scheme
Approved Plan As Required
under Condition 43
Permit No WYP11481/19
Date 08/12/2021**



SERVICE LOCATION TABLE

ROAD NAME	POTABLE WATER		GAS		NBN (TELECOM)		ELECTRICITY		RECYCLED WATER			
	SIDE	OFFSET	SIDE	OFFSET	SIDE	OFFSET	POLE	USE CABLE	SIDE	OFFSET		
PLANE AVENUE	S	3.65	S	2.25	N	1.725	N	1.00x	N	2.60	S	2.20
MANDEVILLA STREET	E	2.00	E	2.10	W	1.725	W	1.00x	W	2.60	E	2.50
GREYSPIKE STREET (EAST-WEST)	W	2.00	W	2.10	E	1.725	E	1.00x	E	2.60	W	2.50
GREYSPIKE STREET (NORTH-SOUTH)	W	2.00	W	2.10	E	1.725	E	1.00x	E	2.60	W	2.50
LANE A	S	2.20	S	2.10	N	1.725	N	-	N	2.60	S	2.50

1. TELECOMMUNICATIONS AND ELECTRICITY CABLES TO BE CONSTRUCTED IN ACCORDANCE WITH ELECTRICITY AUTHORITY STANDARD DRCS.
2. GAS AND WATER MAINS TO BE CONSTRUCTED IN ACCORDANCE WITH ELECTRICITY AUTHORITY STANDARD DRCS.
3. * = OFFSET FROM BACK OF KERB

WARNING
BEWARE OF UNDERGROUND/OVERHEAD SERVICES
THE LOCATION OF SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE VERIFIED BY A REGISTERED ELECTRICAL CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF SERVICES AND GUARANTEE IS NOT GIVEN. CONSIDERATION SHOULD BE GIVEN TO CONSTRUCTION PROCEDURES UNDER OVERHEAD ELECTRICITY TRANSMISSION LINES.

FRASERS PROPERTY
Designed
Authorised

Mambourin
Checked
Date

CONSTRUCTION 308876CR201
0

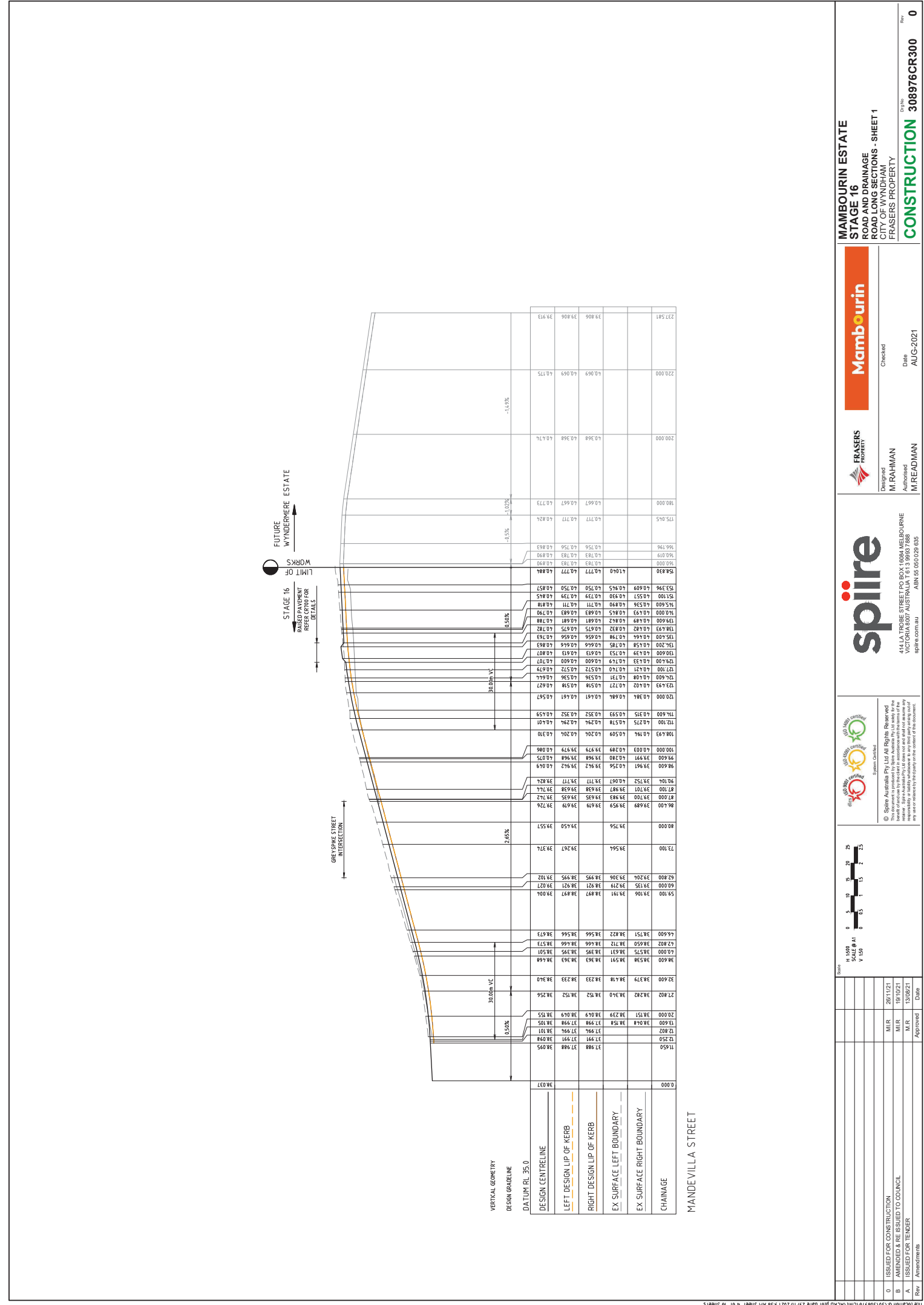
**MAMBOURIN ESTATE
STAGE 16
ROAD AND DRAINAGE
SERVICES PLAN
CITY OF WYNDHAM
FRASERS PROPERTY**

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SCALE A1
0 5 10 15 20 25

0 DRAINAGE AMENDED TO SERVICE LOT 1636. ISSUED FOR CONSTRUCTION
B AMENDED FOR COUNCIL COMMENTS AS PER CLOUDDING
MIR 15/11/21
A SHEET ADDED. RE ISSUED TO COUNCIL.
MIR 19/10/21

Revision: 01/2020
19/01/2021
15/11/21
28/11/21



VERTICAL GEOMETRY
0.5%0% GRADELINE

DATUM RL 35.0

CHANGEGE	EX SURFACE RIGHT BOUNDARY	EX SURFACE LEFT BOUNDARY	RIGHT DESIGN LIP OF KERB	LEFT DESIGN LIP OF KERB	DESIGN CENTRELINE
0.000	38.037				
11.450	37.988	37.991	37.991	37.988	38.095
22.250	37.988	37.991	37.991	37.988	38.095
33.000	37.988	37.991	37.991	37.988	38.095
43.750	37.988	37.991	37.991	37.988	38.095
54.500	37.988	37.991	37.991	37.988	38.095
65.250	37.988	37.991	37.991	37.988	38.095
76.000	37.988	37.991	37.991	37.988	38.095
86.750	37.988	37.991	37.991	37.988	38.095
97.500	37.988	37.991	37.991	37.988	38.095
108.250	37.988	37.991	37.991	37.988	38.095
119.000	37.988	37.991	37.991	37.988	38.095
129.750	37.988	37.991	37.991	37.988	38.095
140.500	37.988	37.991	37.991	37.988	38.095
151.250	37.988	37.991	37.991	37.988	38.095
162.000	37.988	37.991	37.991	37.988	38.095
172.750	37.988	37.991	37.991	37.988	38.095
183.500	37.988	37.991	37.991	37.988	38.095
194.250	37.988	37.991	37.991	37.988	38.095
205.000	37.988	37.991	37.991	37.988	38.095
215.750	37.988	37.991	37.991	37.988	38.095
226.500	37.988	37.991	37.991	37.988	38.095
237.250	37.988	37.991	37.991	37.988	38.095

MANDEVILLA STREET

GREYSPIKE STREET INTERSECTION

FUTURE WYNDERMERE ESTATE

STAGE 16 WYNDERMERE ESTATE

WORKS LIMIT

REFER TO DRAWING FOR DETAILS

0.50%

2.65%

0.50%

-1.57%

-1.57%

-1.57%

-1.57%

Mambourin

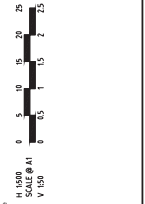
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Designed by: M RAHMAN
Checked by: M RAHMAN
Date: AUG-2021

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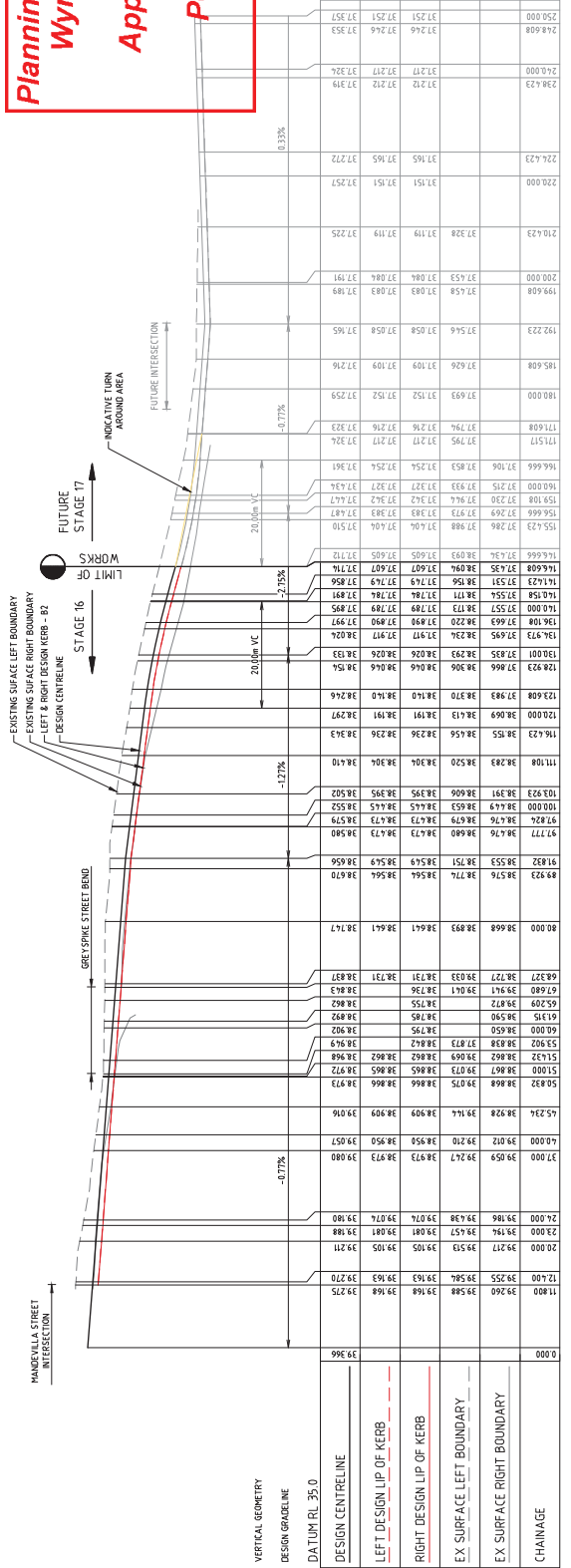
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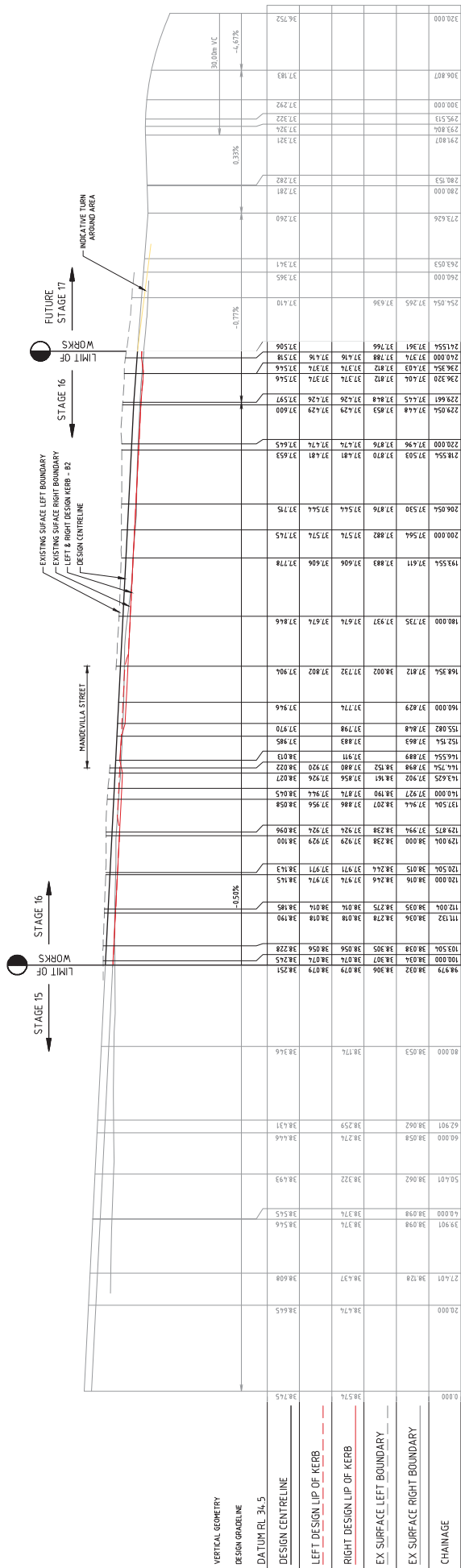
Rev	Amendment	Approved	Date
0	ISSUED FOR CONSTRUCTION	MIR	28/11/21
B	AMENDED & RE ISSUED TO COUNCIL	MIR	19/10/21
A	ISSUED FOR TENDER	MIR	13/08/21

Planning and Environment Act 1987
Wyndham Planning Scheme

Approved Plan As Required
under Condition 43
Permit No WYP11481/19
Date 08/12/2021



GREY SPIKE STREET



PLANE AVENUE

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MAMBOURIN ESTATE
STAGE 16
ROAD AND DRAINAGE
ROAD LONG SECTIONS - SHEET 2
CITY OF WYNDHAM
FRASERS PROPERTY

CONSTRUCTION 308976CR301

FRASERS PROPERTY

Designed: **M RAHMAN**
 Authored: **M READMAN**

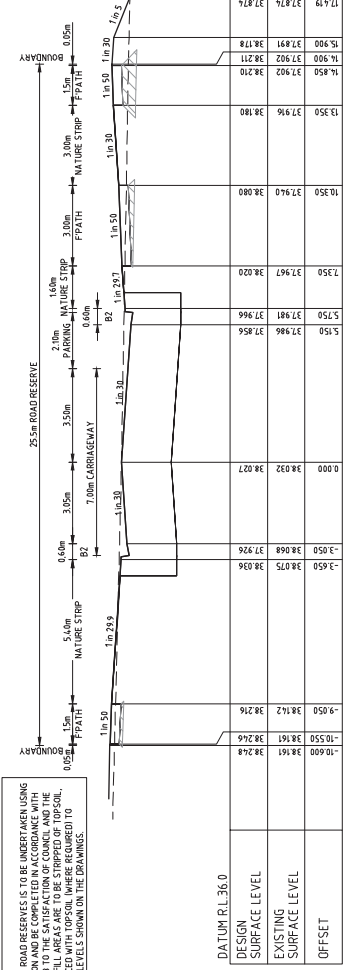
Checked: _____
 Date: **AUG 2021**

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SCALE A1
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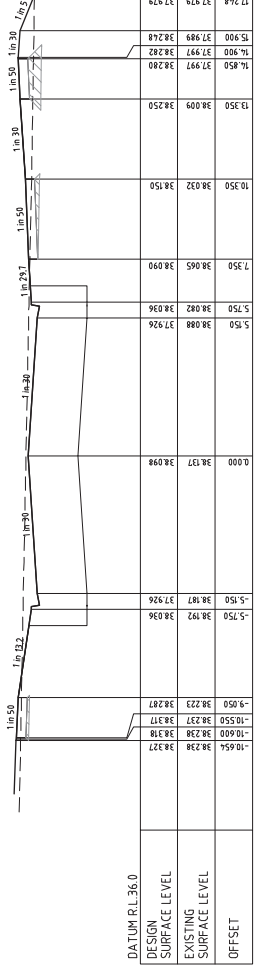
Rev	Issue	Date	Approved
0	ISSUED FOR CONSTRUCTION	28/11/21	MIR
1	LIMIT OF PAVEMENT AMENDED	12/11/21	MIR
2	AMENDED & RE ISSUED TO COUNCIL	19/10/21	MIR
3	ISSUED FOR TENDER	13/08/21	MIR

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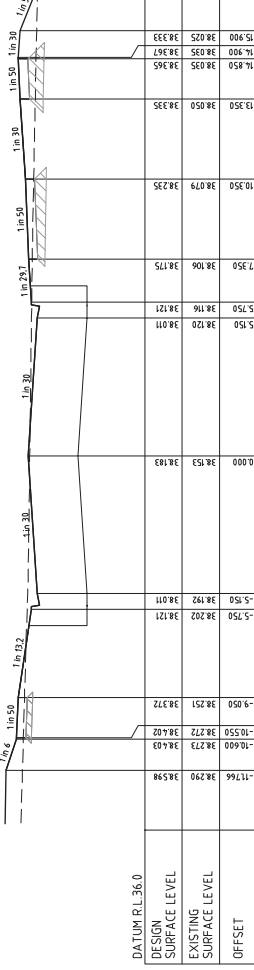
FILLING NOTE
 ALL FILLING WITHIN ROAD RESERVES IS TO BE UNDERTAKEN USING LEVEL 1 SUPERVISION AND BE COMPLETED IN ACCORDANCE WITH SUPERINTENDENT FILL AREA ARE TO BE STRIPPED TO TOP SOIL, FILLED AND REPAVED WITH OPTICAL WHERE REQUIRED TO OBTAIN THE FINAL LEVELS SHOWN IN THE DRAWINGS.



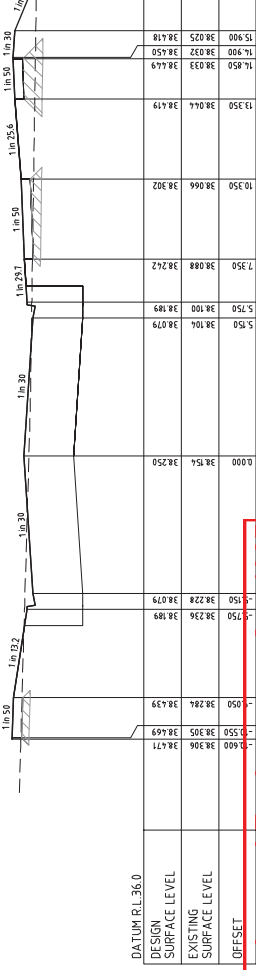
PLANE AVENUE
 CH 14-3.63



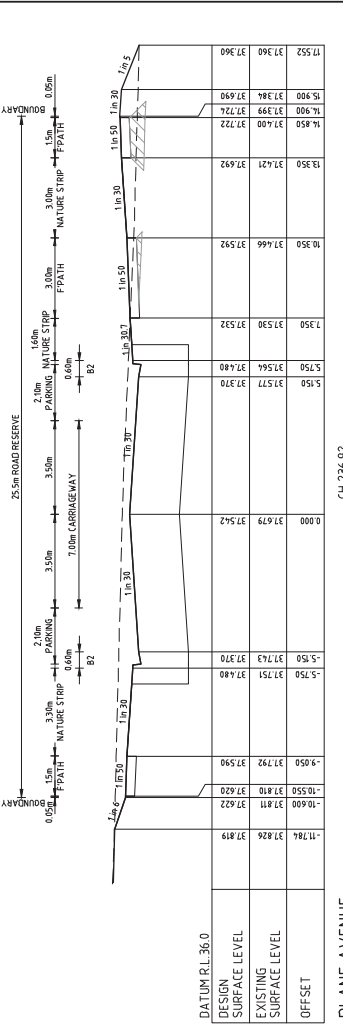
PLANE AVENUE
 CH 129.50



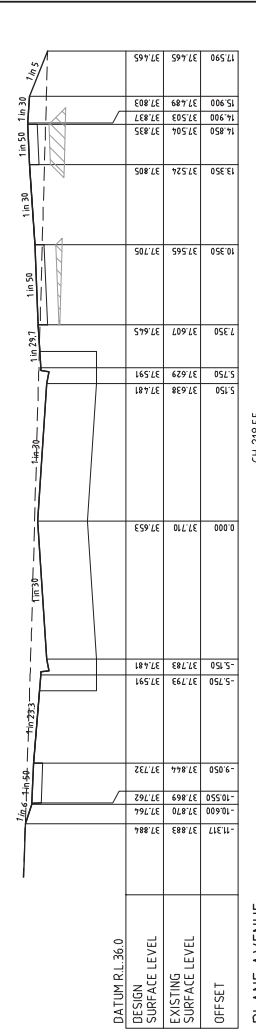
PLANE AVENUE
 CH 112.50



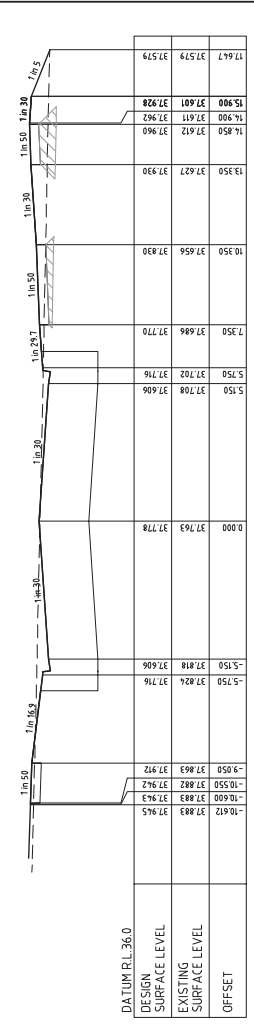
PLANE AVENUE
 CH 98.98



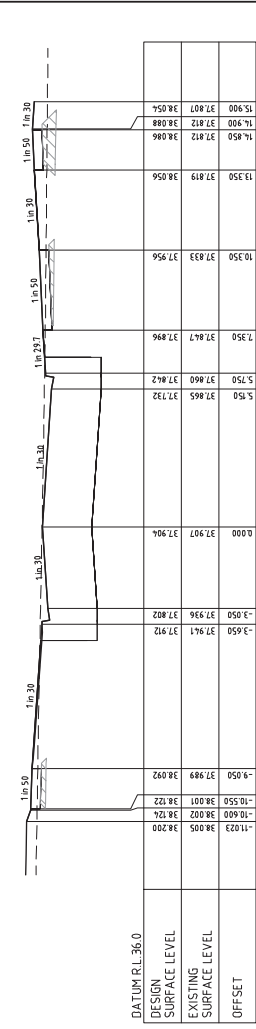
PLANE AVENUE
 CH 236.92



PLANE AVENUE
 CH 218.55



PLANE AVENUE
 CH 193.55



PLANE AVENUE
 CH 168.35

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 M RAHMAN
 M READMAN

FRASERS PROPERTY
 Checked
 Date: AUG-2021

CONSTRUCTION 308976CR400

Planning and Environment Act 1987
Wyndham Planning Scheme

Approved Plan As Required
under Condition 43
Permit No WYP1148119
Date 08/12/2021

Rev	Amendments	Approved	Date
0	ISSUED FOR CONSTRUCTION	MIR	28/11/21
1	LIMIT OF PAVEMENT & BOD	MIR	12/12/21
2	AMENDED & RE ISSUED TO COUNCIL	MIR	19/10/21
3	ISSUED FOR TENDERS	MIR	13/09/21

FILLING NOTE
 ALL FILLING WITHIN ROAD RESERVES IS TO BE UNDERTAKEN USING LEVEL 1 SUPERVISION AND BE COMPLETED IN ACCORDANCE WITH THE SUPERVISION PLAN. ALL FILLING IS TO BE COMPACTED TO THE SPECIFIED DENSITY AND TO BE PROTECTED BY A 150mm TOPSOIL COVER. ALL FILLING IS TO BE OBTAINED FROM A SOURCE APPROVED BY THE AUTHORITY. THE FINAL LEVELS SHOWN ON THE DRAWINGS.

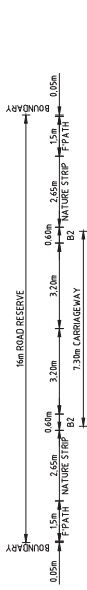


MANDENVILLA STREET		CH 62.80	
DATUM R.L.37.0			
DESIGN SURFACE LEVEL	8.450	39.306	39.301
EXISTING SURFACE LEVEL	8.000	39.306	39.225
OFFSET			
	8.000	39.262	39.195
	7.500	39.202	39.105
	3.800	39.255	38.995
	3.200	39.248	39.105
	0.000	39.288	39.102
	6.450	39.221	39.193
	6.850	39.200	39.148

MANDENVILLA STREET		CH 46.60	
DATUM R.L.37.0			
DESIGN SURFACE LEVEL	8.435	38.759	38.735
EXISTING SURFACE LEVEL	8.000	38.751	38.795
OFFSET			
	7.500	38.733	38.676
	3.800	38.773	38.616
	3.200	38.804	38.616
	0.000	38.788	38.673
	6.450	38.758	38.765
	6.850	38.715	38.765

MANDENVILLA STREET		CH 32.60	
DATUM R.L.37.0			
DESIGN SURFACE LEVEL	8.236	38.418	38.503
EXISTING SURFACE LEVEL	8.000	38.417	38.463
OFFSET			
	7.500	38.412	38.432
	3.800	38.405	38.343
	3.200	38.389	38.233
	0.000	38.396	38.340
	6.450	38.412	38.432
	6.850	38.379	38.470

MANDENVILLA STREET		CH 13.60	
DATUM R.L.36.0			
DESIGN SURFACE LEVEL	8.171	38.159	38.252
EXISTING SURFACE LEVEL	8.000	38.158	38.228
OFFSET			
	7.500	38.158	38.227
	3.800	38.151	38.108
	3.200	38.078	39.198
	0.000	38.102	38.105
	6.450	38.056	38.197
	6.850	38.047	38.258



MANDENVILLA STREET		CH 127.10	
DATUM R.L.39.0			
DESIGN SURFACE LEVEL	8.322	40.742	40.856
EXISTING SURFACE LEVEL	8.000	40.740	40.800
OFFSET			
	7.500	40.730	40.770
	3.800	40.703	40.682
	3.200	40.550	40.572
	0.000	40.637	40.679
	6.450	40.643	40.770
	6.850	40.534	40.682
	8.000	40.421	40.802
	8.000	40.421	40.800

MANDENVILLA STREET		CH 112.10	
DATUM R.L.39.0			
DESIGN SURFACE LEVEL	8.116	40.841	40.953
EXISTING SURFACE LEVEL	8.000	40.837	40.924
OFFSET			
	7.500	40.827	40.924
	3.800	40.848	40.944
	3.200	40.791	40.944
	0.000	40.821	40.911
	6.450	40.799	40.939
	6.850	40.684	40.944
	7.500	40.578	40.924
	8.000	40.471	40.911
	8.000	40.471	40.911

MANDENVILLA STREET		CH 99.60	
DATUM R.L.38.0			
DESIGN SURFACE LEVEL	8.276	40.281	40.236
EXISTING SURFACE LEVEL	8.000	40.280	40.198
OFFSET			
	7.500	40.279	40.197
	3.800	40.202	40.078
	3.200	40.191	39.968
	0.000	40.132	40.075
	6.450	40.251	40.167
	6.850	40.081	40.167
	7.500	39.992	40.197
	8.000	39.991	39.964
	8.000	39.991	39.964

MANDENVILLA STREET		CH 86.40	
DATUM R.L.38.0			
DESIGN SURFACE LEVEL	8.000	39.958	39.849
EXISTING SURFACE LEVEL	8.000	39.958	39.849
OFFSET			
	7.500	39.958	39.849
	3.800	39.917	39.739
	3.200	39.901	39.726
	0.000	39.841	39.726
	6.450	39.707	39.818
	6.850	39.712	39.679
	7.500	39.690	39.679
	8.000	39.684	39.679
	8.000	39.684	39.679

Mambourin

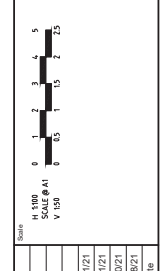
FRASERS PROPERTY

Designed: M RAHMAN
 Checked: M READMAN
 Date: AUG-2021

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Rev	Amendments	Approved	Date
0	ISSUED FOR CONSTRUCTION	MIR	28/11/21
1	AMENDMENT & RE ISSUED TO CIVIL	MIR	22/11/21
2	AMENDMENT & RE ISSUED TO CIVIL	MIR	19/10/21
3	ISSUE PERMIT NO WYP11481119	MIR	3/08/21

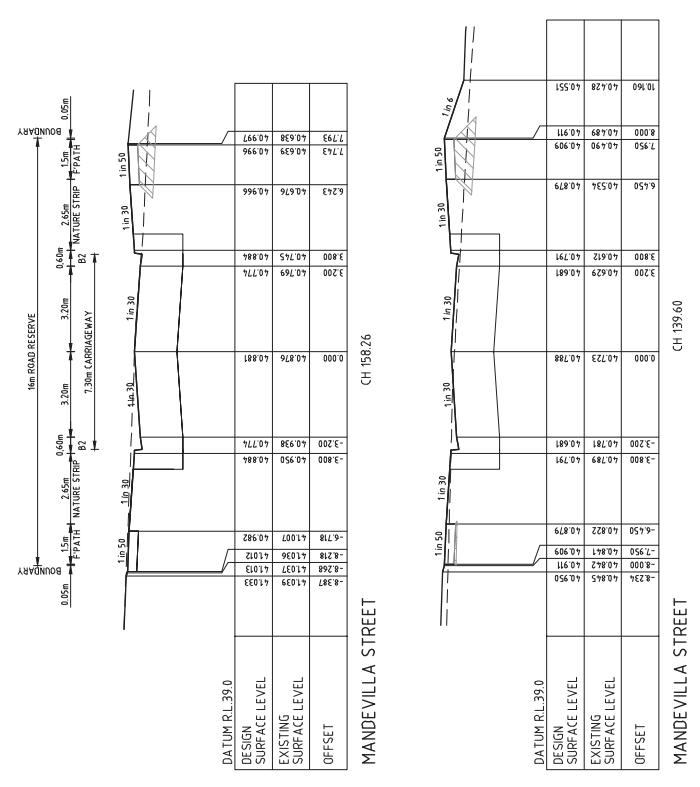
Planning and Environment Act 1987
Wyndham Planning Scheme

Approved Plan As Required
Under Condition 43
Permit No WYP11481119
Date 08/12/2021

FILLING NOTE
 ALL ROAD RESERVES TO BE UNDEVELOPED TO LEVEL 1 SUPERVISION AND BE COMPLETED IN ACCORDANCE WITH AS 3798-2007. AND TO THE SATISFACTION OF COUNCIL AND THE SUPERINTENDENT. FILL AREAS ARE TO BE STRIPPED OF TOPSOIL, AND TO BE REPLACED WITH TOPSOIL TO OBTAIN THE FINAL LEVELS SHOWN ON THE DRAWINGS.

Planning and Environment Act 1987
Wyndham Planning Scheme

Approved Plan As Required
under Condition 43
Permit No WYP11481/19
Date 08/12/2021



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MAMBOURIN ESTATE
STAGE 16
ROAD AND DRAINAGE
ROAD CROSS SECTIONS - SHEET 3
 CITY OF WYNDHAM
 FRASERS PROPERTY

FRASERS PROPERTY

Designed by **M RAHMAN**
 Authored by **M READMAN**

Mambourin

Checked _____
 Date **AUG-2021**

Drawn **0**
 Date _____
 Drawn **308976CR402**

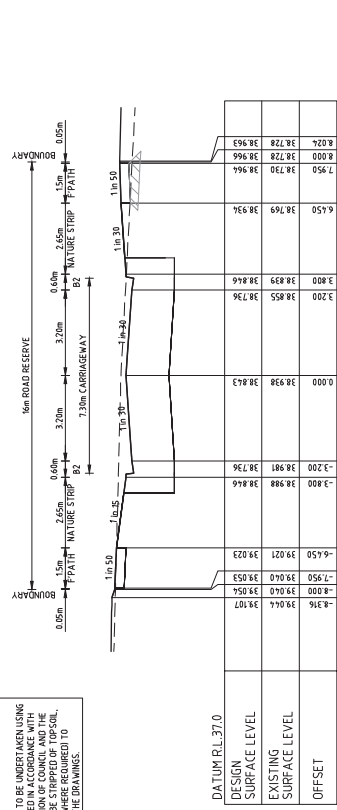
Issue: 01/11/21
 Scale #1
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Rev	Amendments	Approved	Date
0	ISSUED FOR CONSTRUCTION	MIR	28/11/21
C	PAVEMENT BOXING AMENDED	MIR	12/11/21
B	AMENDED & RE ISSUED TO COUNCIL	MIR	19/10/21
A	ISSUED FOR TENDER	MIR	13/08/21

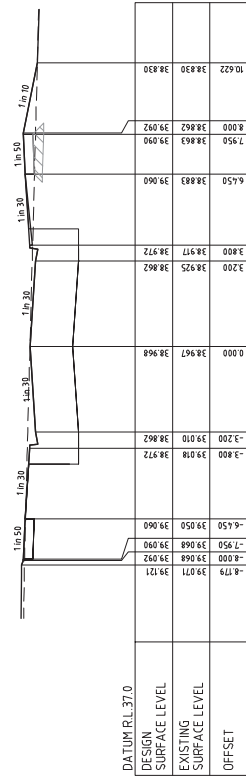
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FILLING NOTE
 ALL FILLING WITHIN ROAD RESERVES IS TO BE UNDERTAKEN USING
 AS 3798:2007 AND TO THE SATISFACTION OF COUNCIL AND THE
 SUPERINTENDENT. FILL AREAS ARE TO BE STRIPPED OF TOPSOIL,
 FILLED AND BEKED WITH TOPSOIL WHERE REQUIRED TO
 MATCH THE FINAL LEVELS SHOWN ON THE DRAWINGS.



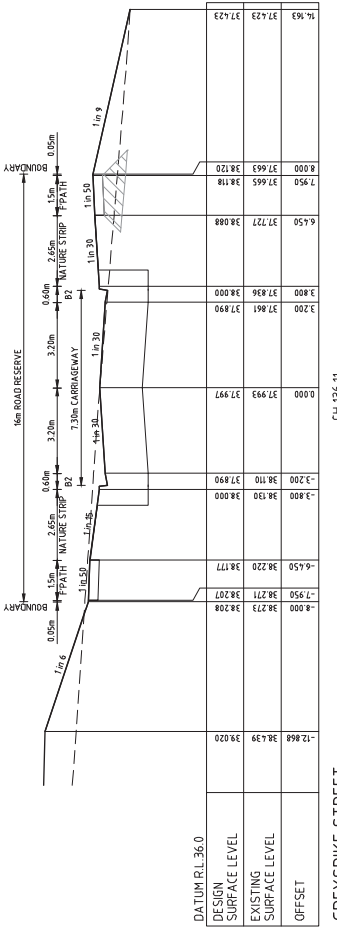
GREY SPIKE STREET

CH 67.68



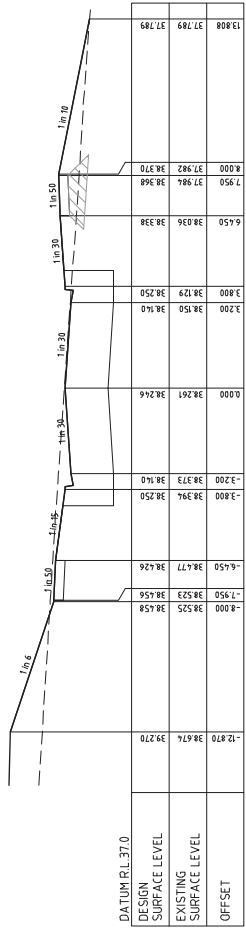
GREY SPIKE STREET

CH 51.43



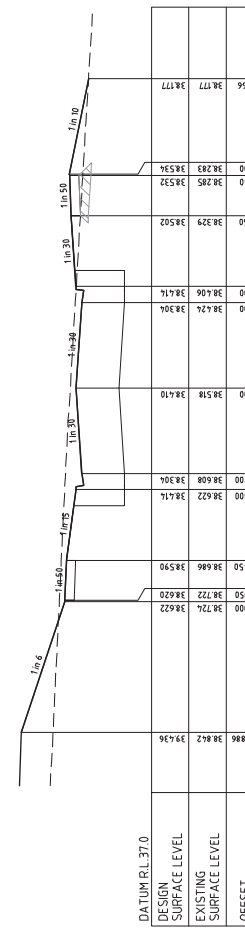
GREY SPIKE STREET

CH 136.11



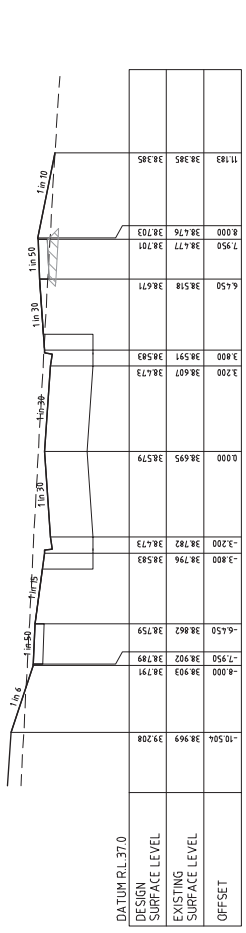
GREY SPIKE STREET

CH 123.62



GREY SPIKE STREET

CH 111.11



GREY SPIKE STREET

CH 97.82

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 Designed
 M RAHMAN
 Authorised
 M READMAN
 Date
 AUG-2021

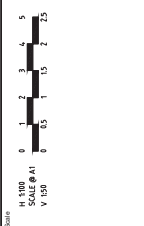
Mambourin
 Checked

MAMBOURIN ESTATE
 STAGE 16
 ROAD AND DRAINAGE
 ROAD CROSS SECTIONS - SHEET 4
 CITY OF WYNDHAM
 FRASERS PROPERTY
 CONSTRUCTION 308976CR403
 Rev 0

Rev	Amendments	Approved	Date
0	ISSUED FOR CONSTRUCTION	MIR	20/12/21
1	PAVEMENT BOXING AMENDED	MIR	12/12/21
2	AMENDED	MIR	19/12/21
3	ISSUED FOR TENDER	MIR	10/02/21

Planning and Environment Act 1987
Wyndham Planning Scheme

Approved Plan As Required
Under Condition 43
Permit No WYP11481119
Date 08/12/2021

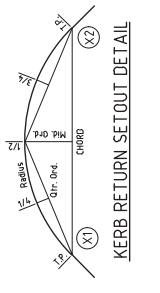
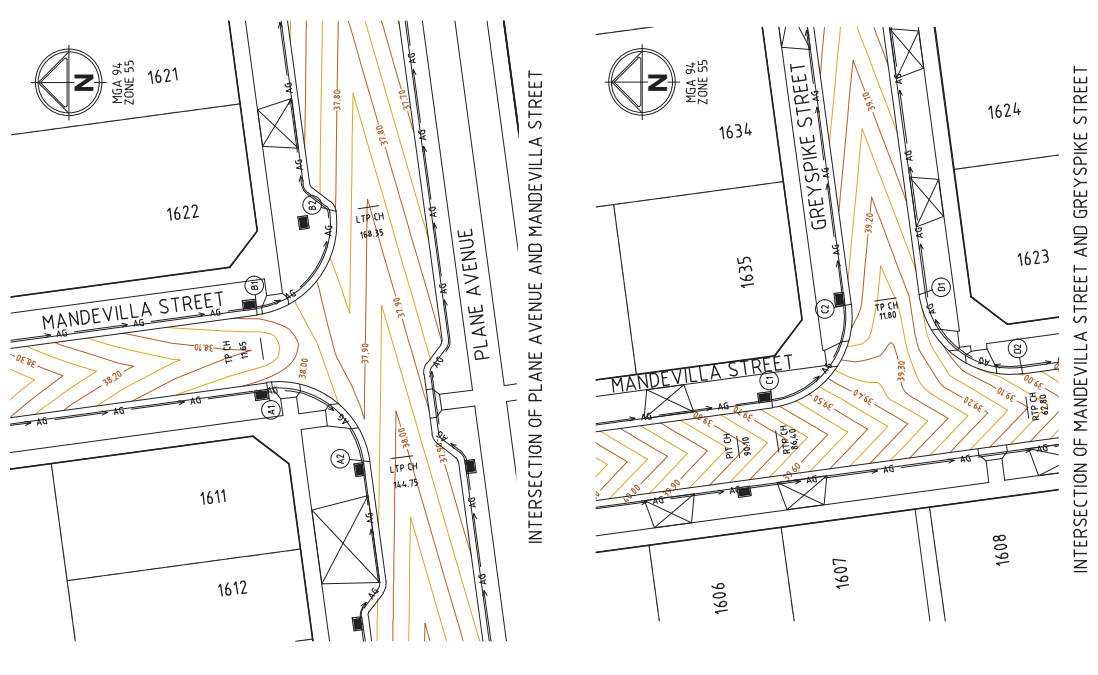


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FRASERS
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 Designed
 M RAHMAN
 Authorised
 M READMAN
 Date
 AUG-2021

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MAMBOURIN ESTATE
 STAGE 16
 ROAD AND DRAINAGE
 ROAD CROSS SECTIONS - SHEET 4
 CITY OF WYNDHAM
 FRASERS PROPERTY
 CONSTRUCTION 308976CR403
 Rev 0



Rev	Amendments
0	ISSUED FOR CONSTRUCTION
B	AMENDED AS PER CLOUDING & RE ISSUED TO COUNCIL
A	ISSUED FOR TENDER

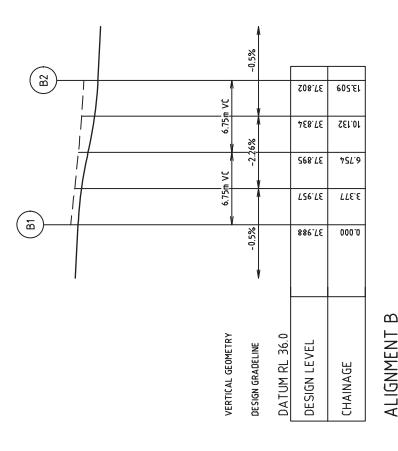
Planning and Environment Act 1987
Wyndham Planning Scheme

Approved Plan As Required
under Condition 43

Permit No. WYP11481179
Date 06/12/2021

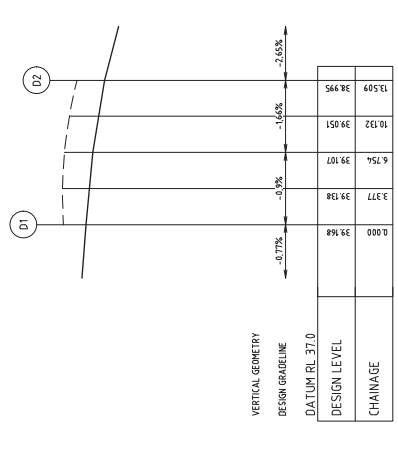
Approved by: [Signature] Date: [Date]
 MTR 19/10/21
 MTR 13/08/21

Authority: City of Wyndham
 Address: 414 La Trobe Street, Melbourne VIC 3000
 Telephone: (03) 9592 9000
 Email: info@cityofwyndham.vic.gov.au



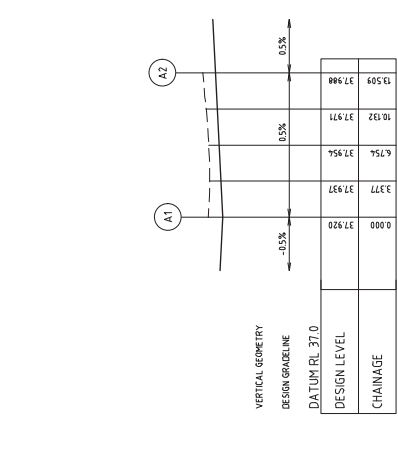
ALIGNMENT B

VERTICAL GEOMETRY	DESIGN GRADELINE
DATUM RL 36.0	
0.000	37.988
3.377	37.957
6.754	37.895
10.132	37.834
13.509	37.802



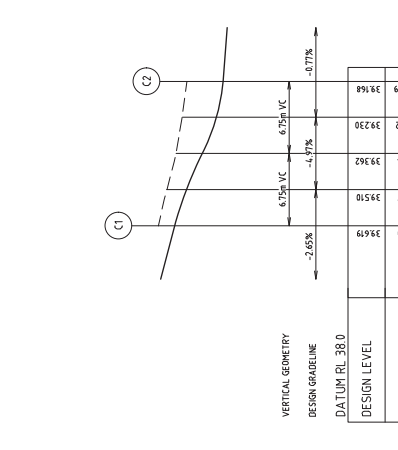
ALIGNMENT D

VERTICAL GEOMETRY	DESIGN GRADELINE
DATUM RL 37.0	
0.000	39.168
3.377	39.138
6.754	39.107
10.132	39.051
13.509	38.995



ALIGNMENT A

VERTICAL GEOMETRY	DESIGN GRADELINE
DATUM RL 37.0	
0.000	37.920
3.377	37.937
6.754	37.954
10.132	37.971
13.509	37.988



ALIGNMENT C

VERTICAL GEOMETRY	DESIGN GRADELINE
DATUM RL 38.0	
0.000	39.619
3.377	39.510
6.754	39.362
10.132	39.230
13.509	39.168

FRASERS PROPERTY

Designed by: M. RAHMAN
 Checked by: [Signature]
 Date: AUG-2021

Mamboourin

Checked
 Date: AUG-2021

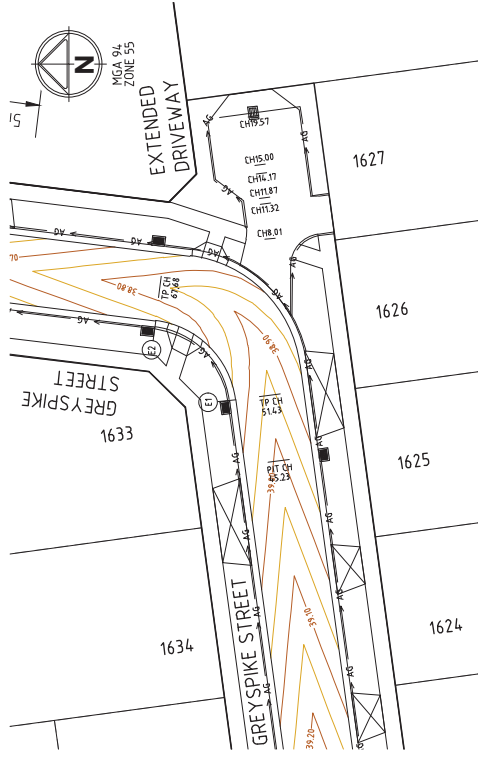
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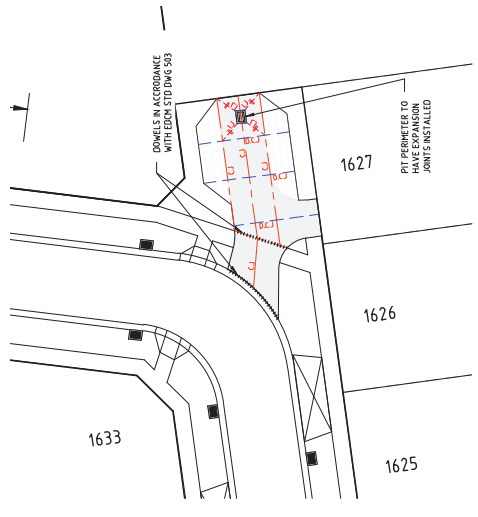
ABN 55 650 029 655

MAMBOURIN ESTATE
STAGE 16
ROAD AND DRAINAGE
INTERSECTION DETAILS - SHEET 1
 CITY OF WYNDHAM
 FRASERS PROPERTY

Project No: 308976CR500



GREYSPIKE STREET BEND AND EXTENDED DRIVEWAY

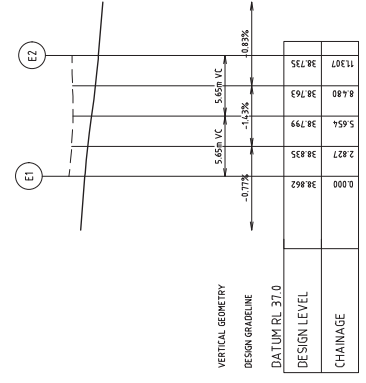


- PAVEMENT FINISH DETAILS:**
- PAVEMENT SHOWN TO CONSIST OF:
- 200mm DEPTH 32mp REINFORCED SLAB MESH
 - CENTRALLY PLACED STANDARD BROOK FINISH
 - 100mm COMPACTED DEPTH VICROADS CLASS 2 CRUSHED ROCK OR EQUIVALENT
- PAVEMENT SHOWN TO CONSIST OF:
- 200mm DEPTH 32mp REINFORCED SLAB MESH
 - CENTRALLY PLACED CHARCOAL COLOURED CONCRETE FINISH
 - 100mm COMPACTED DEPTH VICROADS CLASS 2 CRUSHED ROCK OR EQUIVALENT

- CONCRETE JOINT LEGEND**
- ISOLATION JOINT
 - CONSTRUCTION JOINT - TO BE FORMED IN SITU TO BE FULLY COMPACTED AND FULLED WITH AN APPROVED SEALANT MATERIAL
 - D.C.J. EXPANSION CONTROL JOINT (20m Max)
 - FOR JOINT DETAILS REFER STD DWG EDRY 4.01 & 4.02

Revisions

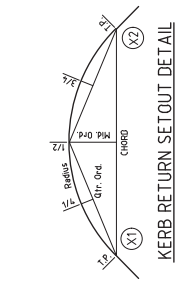
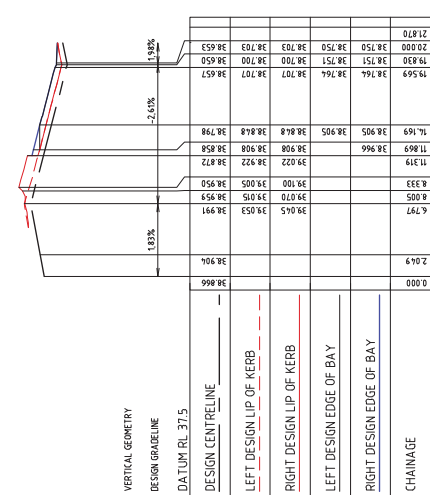
No	Description	By	Date
0	ISSUED FOR CONSTRUCTION	MIR	28/11/21
B	EXPANSION JOINT LOCATION ADDED	MIR	12/11/21
C	AMENDED AS PER CLOUDING & RE ISSUED TO COUNCIL	MIR	19/10/21
A	ISSUED FOR TENDER	MIR	13/08/21



ALIGNMENT E

POINT NO	EASTING	NORTHING	RL
E1	289202872	580558453	38.82
E2	289202875	580558453	38.93
E3	289202878	580558453	39.79
E4	289202881	580558453	39.76
E5	289202884	580558453	38.93

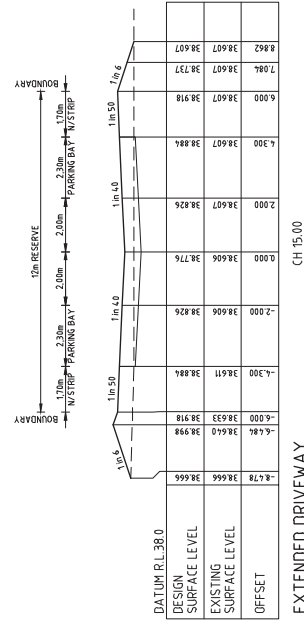
CURVE RADIUS	ARC L	CHORD	MID ORD	QTR ORD
E1-E2	4.600	1.507	1.792	-3.440



KERB RETURN SETOUT DETAIL

Planning and Environment Act 1987
Wyndham Planning Scheme

Approved Plan As Required
under Condition 43
Permit No WYP11481/19
Date 08/12/2021



Mambourin

Checked

Date

AUG-2021

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Designed

M RAHMAN

Authorised

M/READMAN

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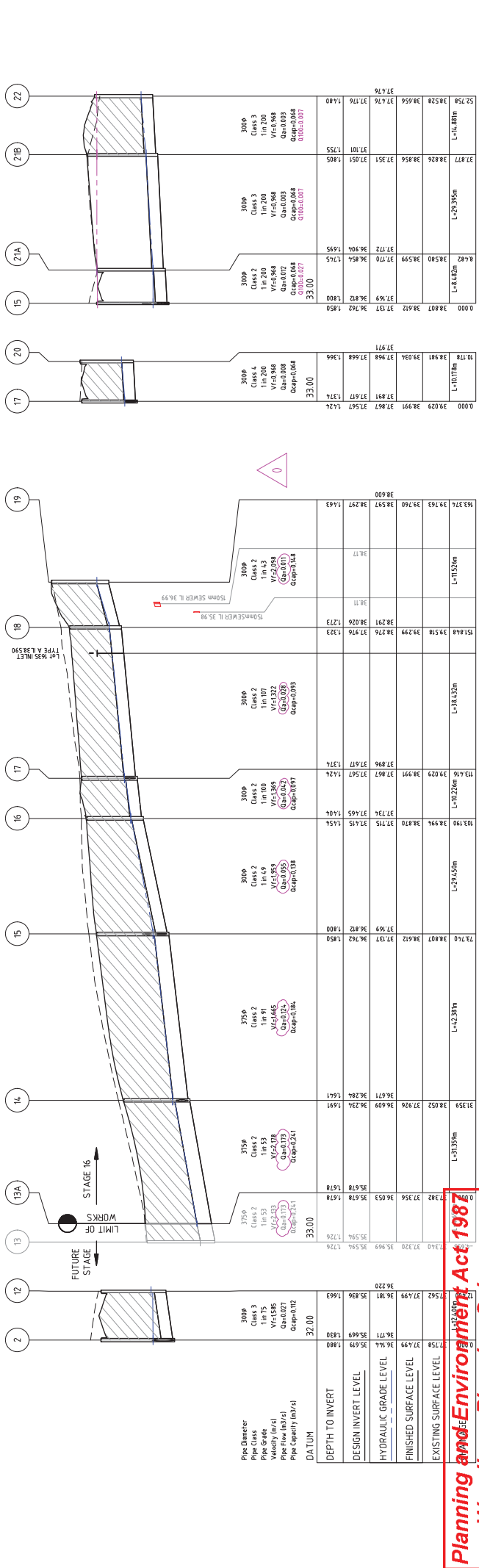
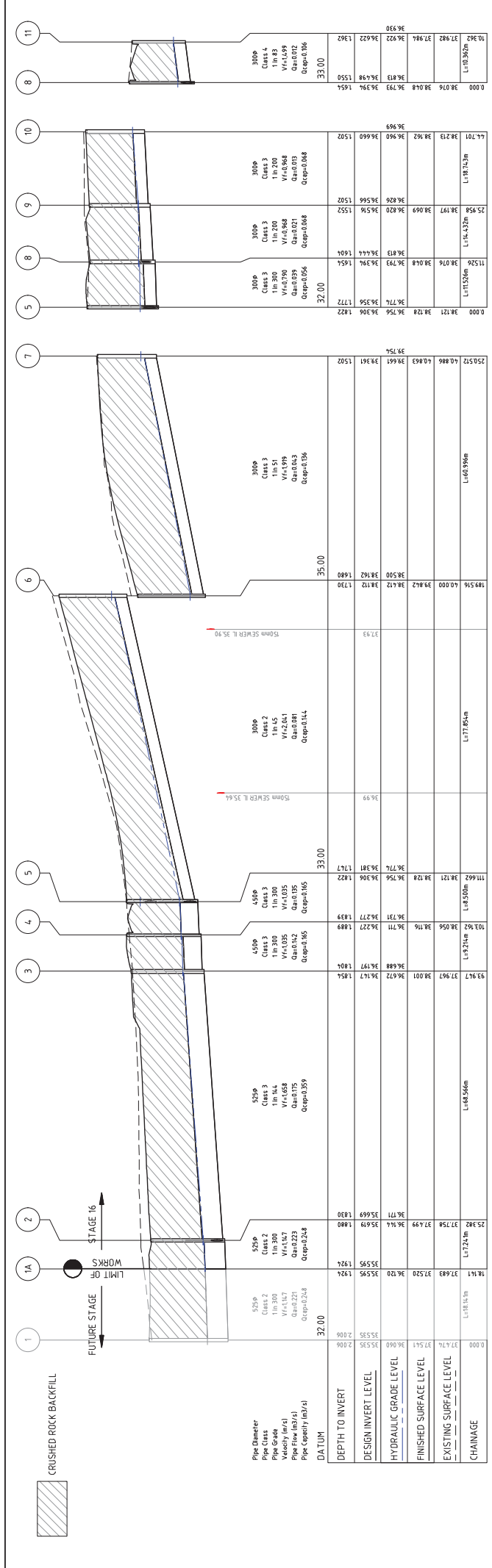
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Planning and Environment Act 1987
Wyndham Planning Scheme

Approved Plan As Required
under Condition 43
Permit No WYP1148119
Date 08/12/2021

Rev	Amendments	Approved	Date
0	DRAINAGE AMENDMENTS ADDED	MIR	28/11/21
1	LOT CONTRIB. ADDED	MIR	12/11/21
2	AMENDED & ISSUED FOR TENDER	MIR	19/10/21
3	ISSUED FOR TENDER	MIR	19/10/21
4	REVISED	MIR	19/10/21

MAMBOURIN ESTATE
STAGE 16
ROAD AND DRAINAGE
DRAINAGE LONG SECTIONS
 CITY OF WYNDHAM
 FRASERS PROPERTY

CONSTRUCTION 308976CR600

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Checked: _____
 Date: AUG-2021

Designed: **M RAHMAN**
 Authorised: **M READMAN**

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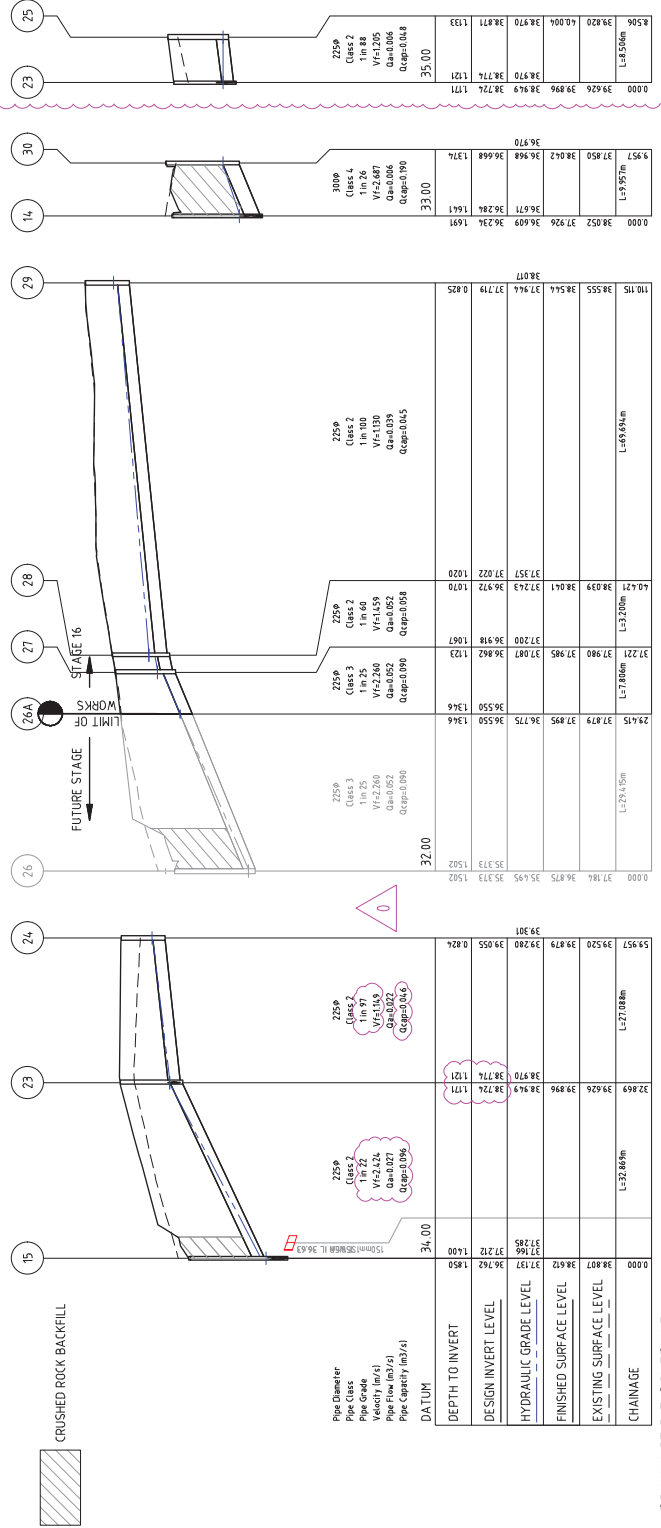
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 Vic 3007 Australia
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Scale 1:100
 SCALE HORIZ
 SCALE VERT
 V 1:50

FRASERS PROPERTY

**Planning and Environment Act 1987
Wyndham Planning Scheme**

**Approved Plan As Required
under Condition 43
Permit No WYP11481/19
Date 08/12/2021**

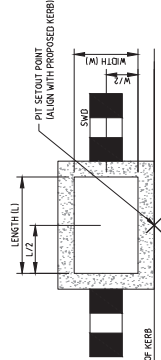


DRAINAGE PIT SCHEDULE

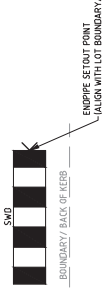
PIT NAME	PIT TYPE	INTERNAL		OUTLET		PIT		REMARKS
		WIDTH	LENGTH	INV LEVEL	DIA	FS LEVEL	DEPTH	
1	ENPIPE	0	0	35.995	525	35.995	1874	
2	GRADED SIDE ENTRY PIT	900	900	35.668	525	35.619	1080	REFER TO EGDN STD FIG 601
3	JUNCTION PIT	900	450	36.191	525	36.121	1884	REFER TO EGDN STD FIG 605
4	GRADED SIDE ENTRY PIT	600	900	36.277	525	36.221	1889	REFER TO EGDN STD FIG 601
5	GRADED SIDE ENTRY PIT	600	900	36.381	525	36.306	1822	REFER TO EGDN STD FIG 601
6	GRADED SIDE ENTRY PIT	600	900	36.356	300	36.356	1770	REFER TO EGDN STD FIG 601
7	GRADED SIDE ENTRY PIT	600	900	36.122	300	36.122	1502	REFER TO EGDN STD FIG 601
8	GRADED SIDE ENTRY PIT	600	900	36.444	300	36.394	1654	REFER TO EGDN STD FIG 601
9	GRADED SIDE ENTRY PIT	600	900	36.546	300	36.546	1652	REFER TO EGDN STD FIG 601
10	GRADED SIDE ENTRY PIT	600	900	36.620	300	36.620	1602	REFER TO EGDN STD FIG 601
11	GRADED SIDE ENTRY PIT	600	900	36.556	300	36.556	1662	REFER TO EGDN STD FIG 601
12	GRADED SIDE ENTRY PIT	600	900	36.556	300	36.556	1662	REFER TO EGDN STD FIG 601
13	ENPIPE	0	0	37.078	375	37.078	1691	
14	GRADED SIDE ENTRY PIT	600	900	36.824	375	36.824	1691	REFER TO EGDN STD FIG 601
15	GRADED SIDE ENTRY PIT	600	900	36.802	375	36.762	1680	REFER TO EGDN STD FIG 601
16	GRADED SIDE ENTRY PIT	600	900	37.145	300	37.145	1654	REFER TO EGDN STD FIG 601
17	GRADED SIDE ENTRY PIT	600	900	37.071	300	37.071	1624	REFER TO EGDN STD FIG 601
18	GRADED SIDE ENTRY PIT	600	900	37.071	300	37.071	1624	REFER TO EGDN STD FIG 601
19	GRADED SIDE ENTRY PIT	600	900	37.071	300	37.071	1624	REFER TO EGDN STD FIG 601
20	GRADED SIDE ENTRY PIT	600	900	37.071	300	37.071	1624	REFER TO EGDN STD FIG 601
21A	GRADED SIDE ENTRY PIT	600	900	36.984	300	36.984	1586	REFER TO EGDN STD FIG 601
21B	JUNCTION PIT	600	300	36.984	300	36.984	1586	REFER TO EGDN STD FIG 601
22	GRADED SIDE ENTRY PIT	600	900	37.101	300	37.101	1585	REFER TO EGDN STD FIG 601
23	JUNCTION PIT	600	300	37.101	300	37.101	1585	REFER TO EGDN STD FIG 601
24	JUNCTION PIT	600	300	37.101	300	37.101	1585	REFER TO EGDN STD FIG 601
25	JUNCTION PIT	600	300	37.101	300	37.101	1585	REFER TO EGDN STD FIG 601
26	JUNCTION PIT	600	300	37.101	300	37.101	1585	REFER TO EGDN STD FIG 601
27	JUNCTION PIT	600	300	37.101	300	37.101	1585	REFER TO EGDN STD FIG 601
28	JUNCTION PIT	600	300	37.101	300	37.101	1585	REFER TO EGDN STD FIG 601
29	JUNCTION PIT	600	300	37.101	300	37.101	1585	REFER TO EGDN STD FIG 601
30	JUNCTION PIT	600	300	37.101	300	37.101	1585	REFER TO EGDN STD FIG 601

PIT/PIPE SETOUT CO-ORDINATES

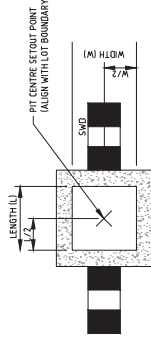
NAME	POINT		EASTING	NORTHING
	1A	B		
1A	1A	B	288665.687	542922.642
24A	1A	B	289339.788	5403675.794
24A	B	B	289373.300	5403583.130



TYPICAL DRAINAGE PIT SETOUT POINT 'A'
NOT TO SCALE



TYPICAL DRAINAGE PIT SETOUT POINT 'B'
NOT TO SCALE



TYPICAL DRAINAGE PIT SETOUT POINT 'C'
NOT TO SCALE

414 LA TROBE STREET PO BOX 16004 MELBOURNE
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MAMBOURIN ESTATE
STAGE 16
ROAD AND DRAINAGE
DRAINAGE LONG SECTIONS & PIT SCHEDULE
CITY OF WYNDHAM
FRASERS PROPERTY

Designed: M RAHMAN
Authorised: M READMAN
Checked: _____
Date: AUG-2021

CONSTRUCTION 308976CR601
Rev 0

0 DRAINAGE AMENDED TO SERVICE LOT 1036. ISSUED FOR CONSTRUCTION
B AMENDED & RE ISSUED TO COUNCIL
A ISSUED FOR TENDER

Approved: _____
Date: _____

DESIGN PAVEMENT PROFILE

PAVEMENT LAYER	DESCRIPTION	DEPTH (mm)	TYPE A*	TYPE B*	TYPE C*
ASPHALT WEARING COURSE	VERGADOUS 20mm TYPE N, CLASS 270 BINDER	40	4.0	4.0	4.0
ASPHALT INTERMEDIATE COURSE	VERGADOUS 20mm TYPE N, CLASS 270 BINDER	75	7.5	7.5	7.5
ASPHALT BASE COURSE	VERGADOUS 20mm TYPE N, CLASS 270 BINDER	40	NOMINAL	NOMINAL	NOMINAL
GRANULAR BASE	VERGADOUS 20mm CLASS 2 CRUSHED ROCK OR EQUIVALENT	100	100	100	100
CONCRETE	30MPa CONCRETE REINFORCED WITH S142 MESH (MIN 40mm TOP COVER)	200	200	200	200
GRANULAR SUBBASE	VERGADOUS 100mm CLASS 3 CRUSHED ROCK OR EQUIVALENT	100	100	100	100
GRANULAR SUBGRADE	VERGADOUS 100mm CLASS 3 CRUSHED ROCK OR EQUIVALENT	100	100	100	100
CAPPING LAYER	TYPE A - WORKING PLATFORM ACHIEVING CBR - 80% TYPE B - TO BE COMPLETED IN 2 LAYERS TYPE C - TO BE COMPLETED IN 2 LAYERS	150	150	150	150
CONSTRUCTION LAYER	PROPERTIES: CBR - 8.0% SWELL - 15.5% PERMEABILITY - E-9 TO BE COMPLETED IN 2 LAYERS OR TO BE INCORPORATED TO A DEPTH NOT LESS THAN 150mm USING SUBGRADE IMPROVEMENT LAYER OR IN SITU STABILISED WITH A CBR VALUE > 10%	150	150	150	150
SUBGRADE		850	850	760	300

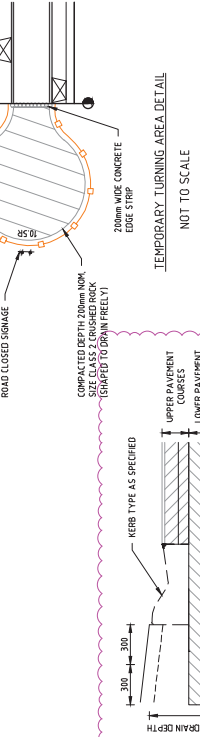
* REFER PAVEMENT PLAN FOR LOCATION OF PAVEMENT TYPES

ROAD NAME	TYPE
PLANE AVENUE	TYPE A
MANDREVILLA STREET	TYPE B
GREYSPIKE STREET	TYPE C
EXTENDED DRIVEWAY	TYPE C

GENERAL NOTES:

- ALL WORKS TO BE COMPLETED IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, AS MAINTENANCE, OR VIC ROADS STANDARDS FOR NON-RESIDENTIAL STREETS.
- ALL CONCRETE TO BE MINIMUM 30MPa COMPRESSIVE STRENGTH.
- CONCRETE TO BE THOROUGHLY COMPACTED USING EITHER SURFACE AND/OR IMPRESSION VIBRATORS, PARTICULARLY AROUND REINFORCEMENT AND IN CORNERS OF FORMS.
- PRIOR TO CASTING, THE UNBOUND GRANULAR SUBBASE MUST BE DAMP TO ENSURE NO EARLY "DRYING OUT" OF THE CONCRETE.
- SEALING OF CONCRETE IS ESSENTIAL - IDEALLY BY MAINTAINING WET HESSION OR CURING WITH PLASTIC SHEETING.
- SAW CUTTING OF CONCRETE SHOULD BE COMPLETED AS SOON AS CONCRETE PERMITS BY EXPERIENCED CONTRACTORS, BUT NO LATER THAN 12 HOURS AFTER POUR.
- ALL DOWELS TO BE GRADE 250R STEEL BARS, 450mm LONG AND PLACED AT 300mm SPACINGS. BARS MUST BE FULLY ENCASED IN CONCRETE. JOINTS TO BE REINFORCED WITH 200mm WIDE CONCRETE. JOINT DOES NOT "LOCK". INSERTION OF DOWELS DURING THE PLACING OF CONCRETE IS NOT ACCEPTABLE. DOWELS MUST BE SPAWN AND NOT CROPPED.
- ALL JOINTS TO BE APPROPRIATELY SEALED TO RESIST THE INTRUSION OF SAND AND GRAVEL AND TO MINIMISE THE INGRESS OF WATER.

LIMIT OF WORKS CONCRETE EDGE STRIP & PAVEMENT INTERFACE DETAIL



TYPICAL SUBSURFACE DRAIN DETAIL FOR EXPANSIVE SUBGRADE
REFER TO AUTHORITY REQUIREMENTS FOR SPECIFIC DETAILS

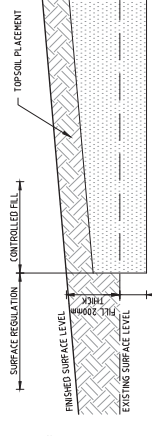
Planning and Environment Act 1987
Wyndham Planning Scheme

Approved Plan As Required
Under Condition 43
Permit No WYP1148119
Date 08/12/2021

Rev	Amendments	Approved	Date
0	ISSUED FOR CONSTRUCTION	MIR	28/11/21
1	PAVEMENT PROFILES & UNDER CONDITION 43	MIR	12/11/21
2	DETAILS ADDED & BE ISSUED TO COUNCIL	MIR	19/10/21
3	ISSUED FOR TENDERS	MIR	13/09/21
4	AMENDMENTS	Approved	Date



PAVEMENT PLAN
H: 1:1000
SCALE @ 1:1



LOT REGRADING DETAIL



BOUNDARY BATTER SLOPE ADJACENT TO LAND OWNED BY OTHERS TYPICAL DETAIL

NOT TO SCALE

PAVEMENT DETAILS

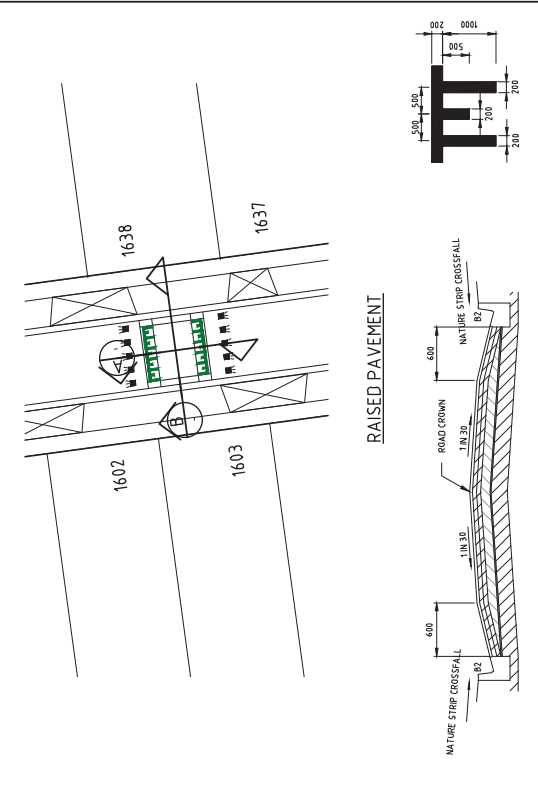
THE PAVEMENT DESIGNS SHOWN HERE HAVE BEEN DESIGNED/PROVIDED BY **COFFEY SERVICES AUSTRALIA PTY LTD** WHO ARE RESPONSIBLE FOR THE GEOTECHNICAL WORK ON THIS PROJECT. SPIRE IS NOT RESPONSIBLE FOR THE WORK OF **COFFEY SERVICES AUSTRALIA PTY LTD**.

A COPY OF THE DOCUMENT WILL BE PROVIDED ON REQUEST.

SPIRE DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE ACCURACY, ADEQUACY OR APPROPRIATENESS OF THE GEOTECHNICAL WORK AND PAVEMENT DESIGN SUBJECT TO THE GEOTECHNICAL WORK AND PAVEMENT DESIGNS SHOULD BE ADDRESSED TO **COFFEY SERVICES AUSTRALIA PTY LTD** AND COPIED TO SPIRE.

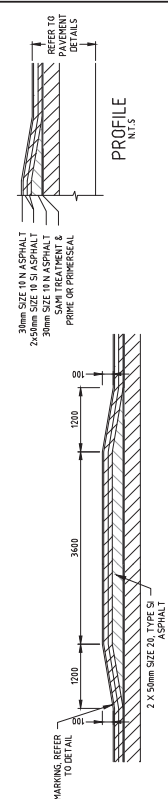
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RAISED PAVEMENT
RAMP LINE MARKING
(DIMENSION IN MILLIMETERS)

PROFILE
N.T.S



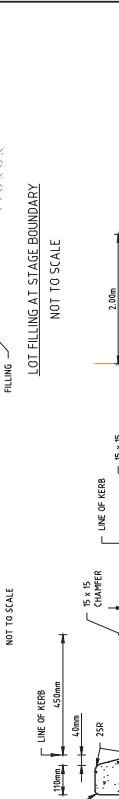
OUTFALL CHANNEL TYPICAL SECTION



LOT FILLING AT STAGE BOUNDARY

NOT TO SCALE

STANDARD KERB PROFILES



NOTE: ALL KERB & CHAMFER AS PER AIA STD DRAWING EDRH 301
H: 1:100
SCALE @ 1:1

TYPICAL CATCH DRAIN SECTION
NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

Mambourin Estate
Stage 16
Road and Drainage
Pavement and Typical Details
CITY OF WYNDHAM
FRASERS PROPERTY

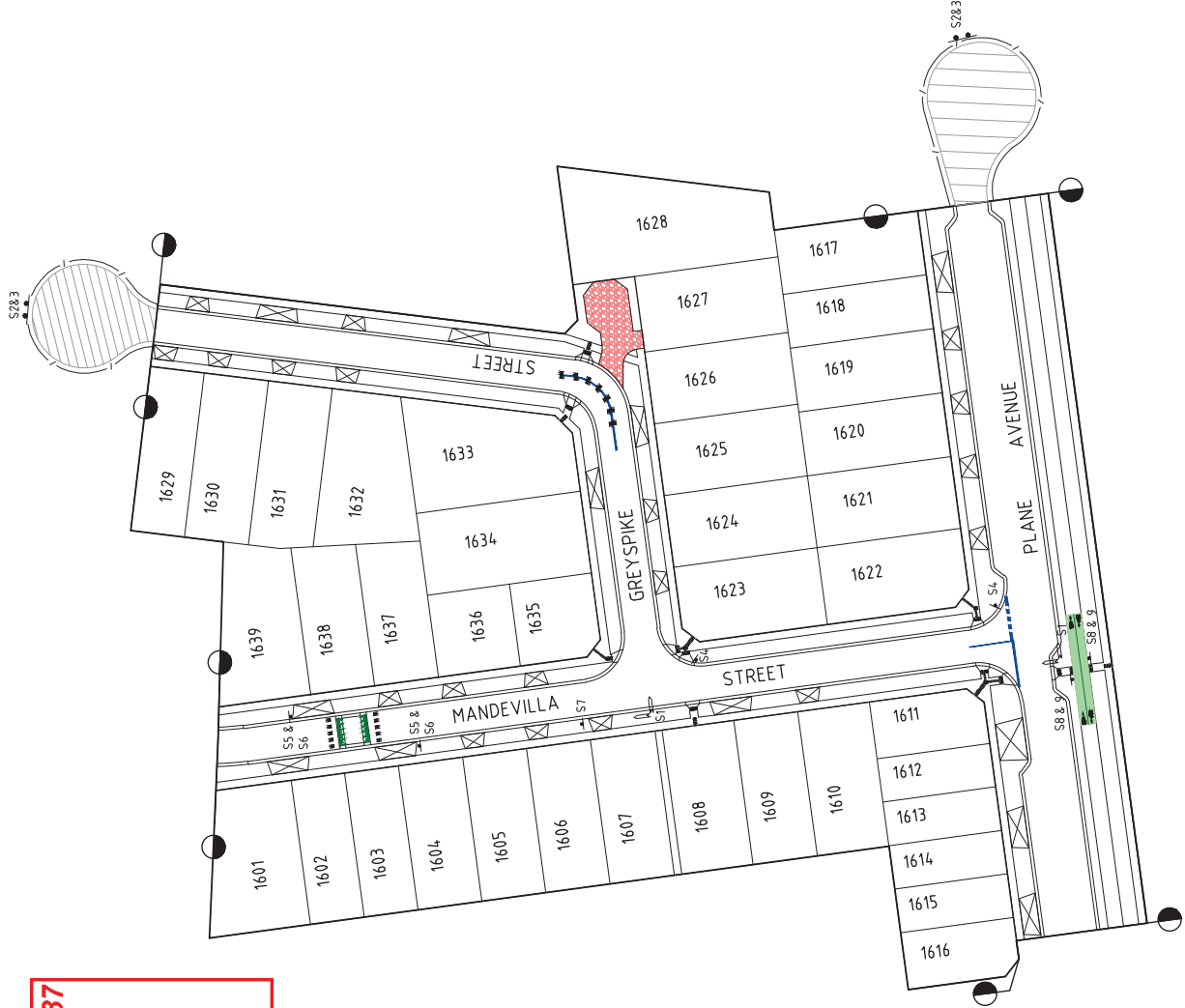
FRASERS PROPERTY
Designed: M RAHMAN
Authorised: M READMAN
Checked: []
Date: AUG-2021

CONSTRUCTION 308976CR700

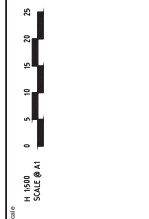
**Planning and Environment Act 1987
Wyndham Planning Scheme**

**Approved Plan As Required
under Condition 43
Permit No WYP11481/19
Date 08/12/2021**

SIGNAGE SCHEDULE REFERENCE NO.	SIGN	COMMENTS
S1		STREET NAME PLATES TO BE IN ACCORDANCE WITH VICS SDRZ, INCLUDING 'NO THROUGH ROAD' NOTATION WHERE APPLICABLE
S2		SR-20
S3		DL-5
S4		R1-2
S5		WS-10
S6		WR-2
S7		WR-4
S8		WR-9
S9		WR-23
		UN-DIRECTIONAL RRPM



Rev	Amendments	Approved	Date
0	ISSUED FOR CONSTRUCTION	MIR	28/11/21
B	AMENDED & RE ISSUED TO COUNCIL	MIR	19/10/21
A	ISSUED FOR TENDER	MIR	13/08/21

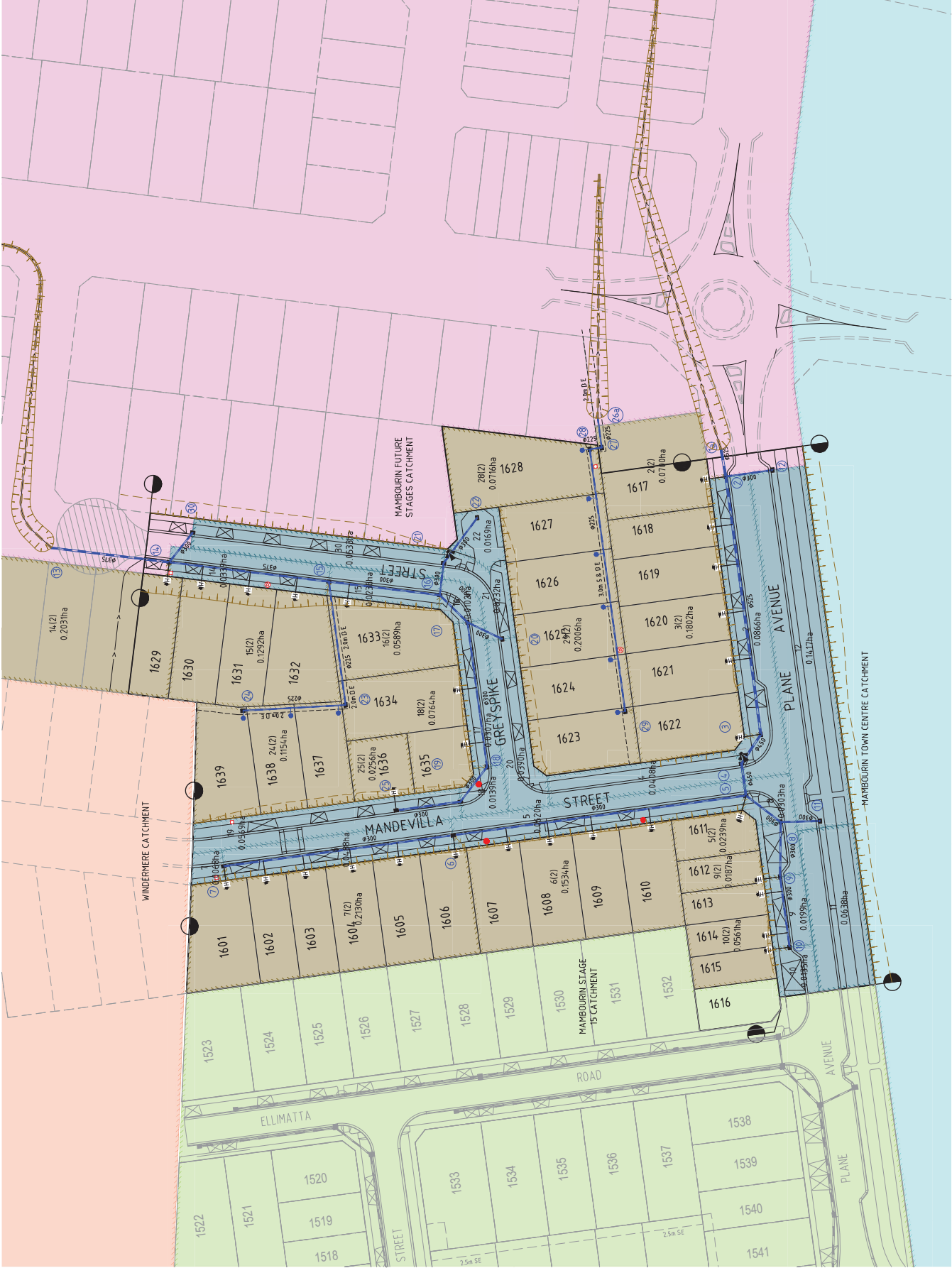


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VICTORIA 3007 AUSTRALIA T 13 9693 7888
spire.com.au ABN 55 650 029 655

Designed: M RAHMAN
Authorised: M READMAN
Checked: _____
Date: AUG-2021

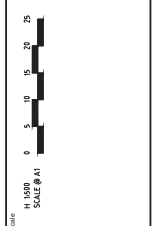
Mambourin

**MAMBOURIN ESTATE
STAGE 16
ROAD AND DRAINAGE
SIGNAGE AND LINEMARKING
CITY OF WYNDHAM
FRASERS PROPERTY**



<p>414 LA TROBE STREET PO BOX 16004 MELBOURNE VICTORIA 3007 AUSTRALIA T 61 3 9693 7888 spire.com.au</p>			<p>MAMBOURIN ESTATE STAGE 16 GENERAL 5 YEAR CATCHMENT PLAN CITY OF WYNDHAM FRASERS PROPERTY</p>
	<p>Designed</p>	<p>Checked</p>	<p>Date</p>
<p>Authorised</p>	<p>Authorised</p>	<p>Date</p>	<p>Drawn</p>
<p>ABN 55 650 029 655</p>	<p>ABN 55 650 029 655</p>	<p>ABN 55 650 029 655</p>	<p>ABN 55 650 029 655</p>

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Rev	Amendments	Approved	Date

12D MODEL - DRAINAGE CALCULATIONS

PROJECT No 308976

PROJECT NAME Mambourin Stage 16

A.R.I. 5 Year

DESIGNED BY: R. Dassens

DATE: 6/10/2021



Table with columns: Structure No., Structure Type, Catchment Area, Runoff Coefficient, Sub-catchment Runoff, S, T, Capacity, Depth, Velocity, Friction Slope, etc.

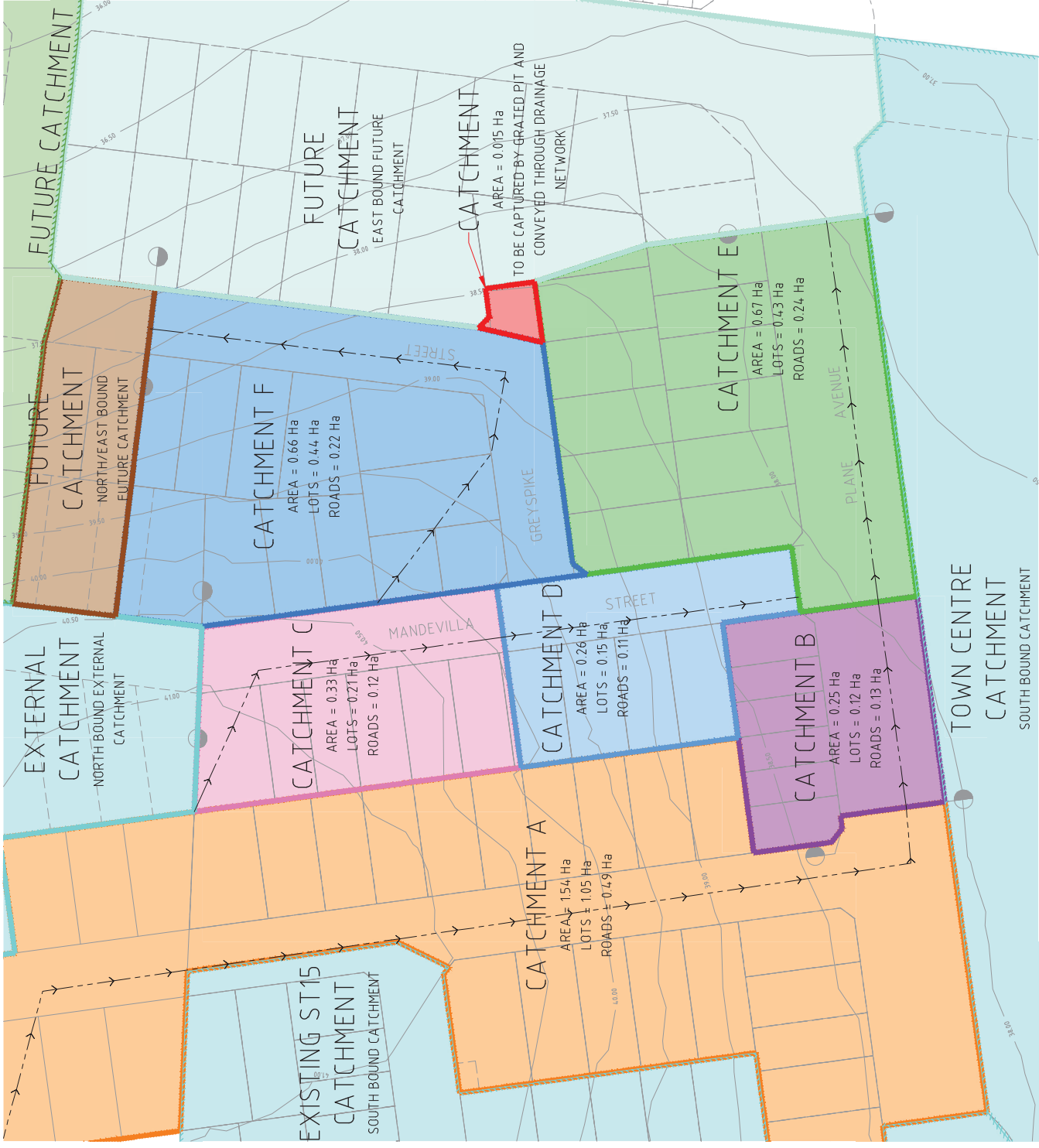
Approval table with columns: Rev, Amendments, Approved, Date

Design and Check status table with columns: Checked, Date

spire logo, FRASERS PROPERTY logo, Mambourin logo, 44 LA TROBE STREET PO BOX 16004 MELBOURNE

Project details: MAMBOURIN ESTATE, STAGE 16, GENERAL, 5 YEAR CATCHMENT CALCULATIONS, CITY OF WYNDHAM, FRASERS PROPERTY

PRELIMINARY 308976CG002, Mambourin logo, FRASERS PROPERTY logo, spire logo, 44 LA TROBE STREET PO BOX 16004 MELBOURNE



<p> 414 LA TROBE STREET PO BOX 16094 MELBOURNE VICTORIA 3007 AUSTRALIA T 61 3 9693 7888 spire.com.au ABN 55 650 029 655 </p>	<p> Designed Authorised </p>	<p> Checked Date </p>	<p> MAMBOURIN ESTATE STAGE 16 GENERAL 100% CATCHMENT PLAN CITY OF WYNDHAM FRASERS PROPERTY PRELIMINARY 308976CG003 </p>
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Scale: 1:1000
 SCALE #11
 0 5 10 15 20 25

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Rev	Amendments	Approved	Date

Project:	Mambourin Stage 16	Designed:	R. Dissens
Reference No:	308976	Checked:	

Polynomial Coefficients

ARI	a	b	c	d	e	f	g
5	3.19526	-6.32E-01	-3.18E-02	9.31E-03	-1.18E-04	-4.04E-04	2.70E-05
10	3.32094	-6.40E-01	-3.14E-02	8.44E-03	-8.53E-05	-3.97E-04	2.88E-05
20	3.63918	-6.46E-01	-3.12E-02	8.18E-03	-2.86E-05	-3.97E-04	1.08E-05
50	3.72184	-6.52E-01	-3.08E-02	8.89E-03	7.08E-06	-2.88E-04	4.61E-06
100	3.87579	-6.57E-01	-2.98E-02	8.84E-03	2.18E-05	-2.97E-04	1.23E-08

100yr URBAN ARI Drainage Calculations

DEVELOPED CATCHMENT

Catchment	Street	Aves (ha)	ΣA (ha)	C100 (ha)	C5 (ha)	Ae 100 (ha)	ΣAe 100 (ha)	Ae 5 (ha)	ΣAe 5 (ha)	Velocity 5y (m/s)	Tc 100 (mins)	Tc 5 (mins)	Int 100 (mm/hr)	Int 5 (mm/hr)	Q100 (m ³ /s)	Q5y (m ³ /s)	Comments
A		1.54	1.54	0.84	0.68	1.29	1.29	1.02	1.02	2	7.25	6.63	156.75	75.04	0.500	0.320	As per Stage 15 catchment plan
B		0.25	1.79	0.83	0.63	0.20	1.49	0.16	1.18	1.5	8.74	7.19	144.76	72.68	0.600	0.238	Catchment B + A
C		0.33	0.33	0.83	0.68	0.27	0.27	0.22	0.74	1.5	7.18	6.08	158.10	77.81	0.120	0.047	Top of catchment
D		0.26	0.59	0.82	0.65	0.21	0.49	0.17	0.83	1.5	8.67	6.88	145.32	74.00	0.197	0.079	Catchment D + C
E		0.67	3.05	0.83	0.66	0.56	2.54	0.44	2.01	1.26	9.97	8.22	136.07	68.67	0.958	0.383	Catchment E + D + C + A
F		0.66	0.66	0.84	0.66	0.55	0.55	0.44	0.44	1.5	7.88	6.69	151.76	74.85	0.233	0.091	Top of catchment
CATCHMENT PIPE		0.015	0.015	1.00	1.00	0.02	0.02	0.02	0.02	1.5	5.21	5.11	180.90	83.31	0.008	0.003	Pt capture on extended driveway

PROJECT OVERVIEW
Date: 16/03/2023
From: 16/03/2023 To: 16/03/2023
Time: 12:00:00 AM
Total discharge: 1.52 L/s

1. L. CROSS SECTION
2. Z. CROSS SECTION
3. S. CROSS SECTION
4. L. CROSS SECTION DATA
5. Z. CROSS SECTION DATA
6. S. CROSS SECTION DATA

PROJECT OVERVIEW
Date: 16/03/2023
From: 16/03/2023 To: 16/03/2023
Time: 12:00:00 AM
Total discharge: 1.52 L/s

1. L. CROSS SECTION
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PROJECT OVERVIEW
Date: 16/03/2023
From: 16/03/2023 To: 16/03/2023
Time: 12:00:00 AM
Total discharge: 1.52 L/s

1. L. CROSS SECTION
2. Z. CROSS SECTION
3. S. CROSS SECTION
4. L. CROSS SECTION DATA
5. Z. CROSS SECTION DATA
6. S. CROSS SECTION DATA

PROJECT OVERVIEW
Date: 16/03/2023
From: 16/03/2023 To: 16/03/2023
Time: 12:00:00 AM
Total discharge: 1.52 L/s

1. L. CROSS SECTION
2. Z. CROSS SECTION
3. S. CROSS SECTION
4. L. CROSS SECTION DATA
5. Z. CROSS SECTION DATA
6. S. CROSS SECTION DATA

PROJECT OVERVIEW
Date: 16/03/2023
From: 16/03/2023 To: 16/03/2023
Time: 12:00:00 AM
Total discharge: 1.52 L/s

1. L. CROSS SECTION
2. Z. CROSS SECTION
3. S. CROSS SECTION
4. L. CROSS SECTION DATA
5. Z. CROSS SECTION DATA
6. S. CROSS SECTION DATA

PROJECT OVERVIEW
Date: 16/03/2023
From: 16/03/2023 To: 16/03/2023
Time: 12:00:00 AM
Total discharge: 1.52 L/s

1. L. CROSS SECTION
2. Z. CROSS SECTION
3. S. CROSS SECTION
4. L. CROSS SECTION DATA
5. Z. CROSS SECTION DATA
6. S. CROSS SECTION DATA

PROJECT OVERVIEW
Date: 16/03/2023
From: 16/03/2023 To: 16/03/2023
Time: 12:00:00 AM
Total discharge: 1.52 L/s

1. L. CROSS SECTION
2. Z. CROSS SECTION
3. S. CROSS SECTION
4. L. CROSS SECTION DATA
5. Z. CROSS SECTION DATA
6. S. CROSS SECTION DATA

PROJECT OVERVIEW
Date: 16/03/2023
From: 16/03/2023 To: 16/03/2023
Time: 12:00:00 AM
Total discharge: 1.52 L/s

1. L. CROSS SECTION
2. Z. CROSS SECTION
3. S. CROSS SECTION
4. L. CROSS SECTION DATA
5. Z. CROSS SECTION DATA
6. S. CROSS SECTION DATA