

# FIVE FARMS - STAGE 23 BUILDING ENVELOPE DIAGRAM

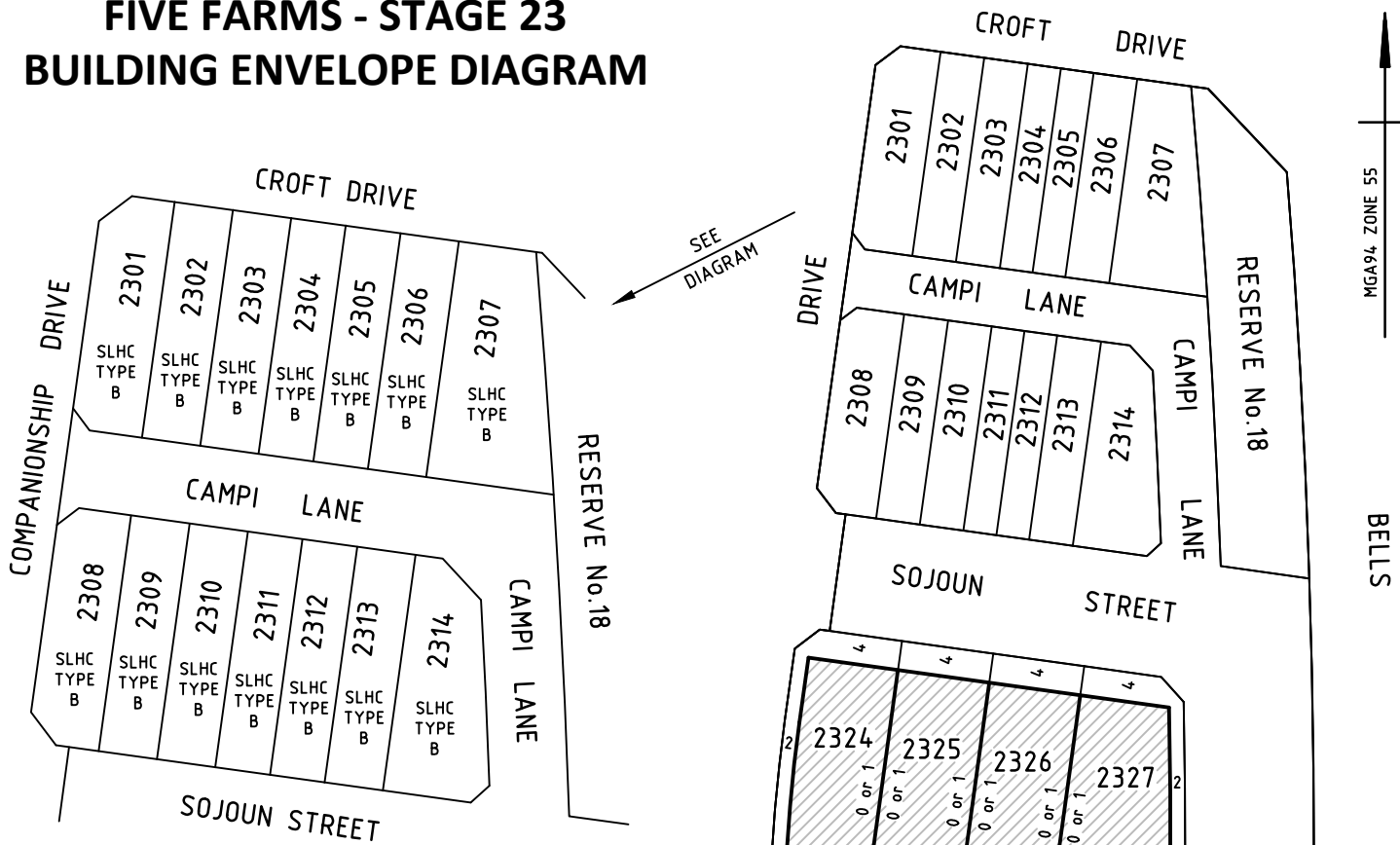


DIAGRAM  
NOT TO SCALE

LEGEND

Building Envelope

For Lots in this plan containing Building Envelopes:

The building envelope applies to the ground floor level only and is limited in height to 3-60 metres. Additional setbacks will apply to upper floors in accordance with the Building Regulations 2018.

Garages are to be setback a minimum of 5.50 metres from the Primary Frontage of the allotment.

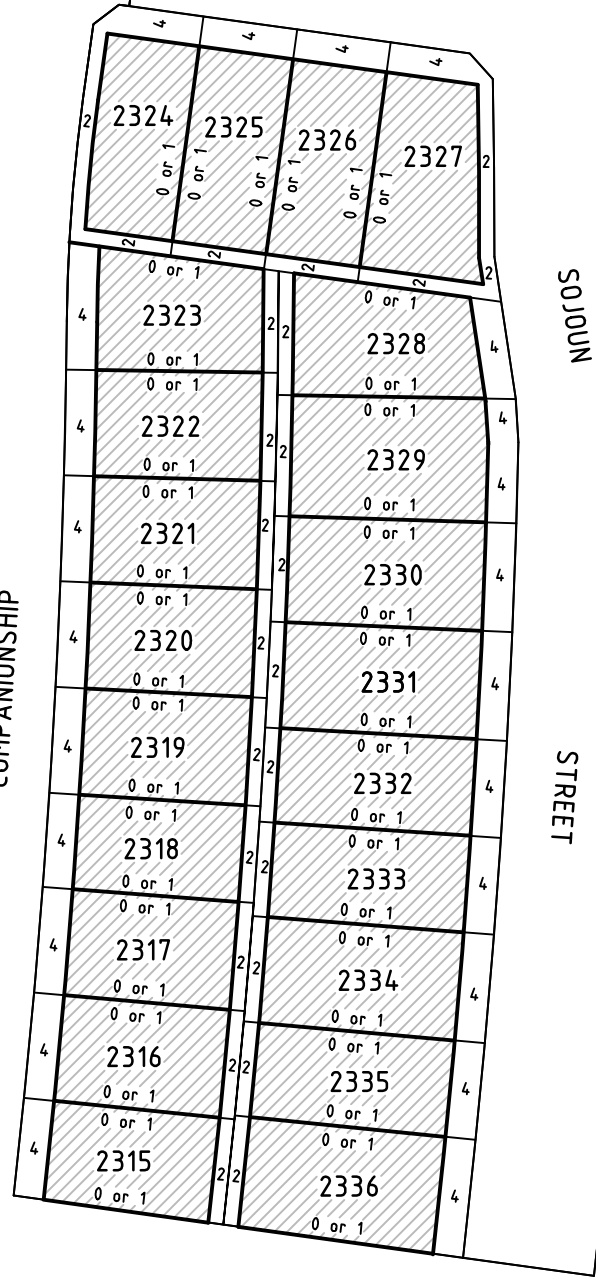
The building can be built on either side boundary where noted as "0 or 1" on this diagram but must maintain a minimum 1m setback to the opposite boundary.

For Lots in this plan identified as "SLHC TYPE A" or "SLHC TYPE B"

The construction of one dwelling on a lot must comply with the Small Lot Housing Code (Victorian Planning Authority, November 2019) incorporated pursuant to the Schedule to Clause 72.04 of the Casey Planning Scheme.

SEE DIAGRAM

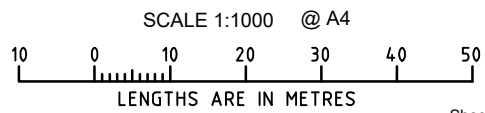
COMPANIONSHIP



BELLS

ROAD

**BW** Beveridge Williams  
Development and Infrastructure Consultants  
Melbourne ph : 03 9524 8888  
www.beveridgewilliams.com.au



Casey Planning Scheme Endorsed in accordance with condition(s) 6 on 23/03/2023 under Permit No. PA21-0705 (App Ref PEND23-0137) Sheet 1 of 1 by dbiggs