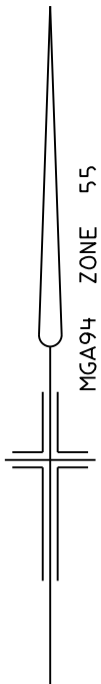


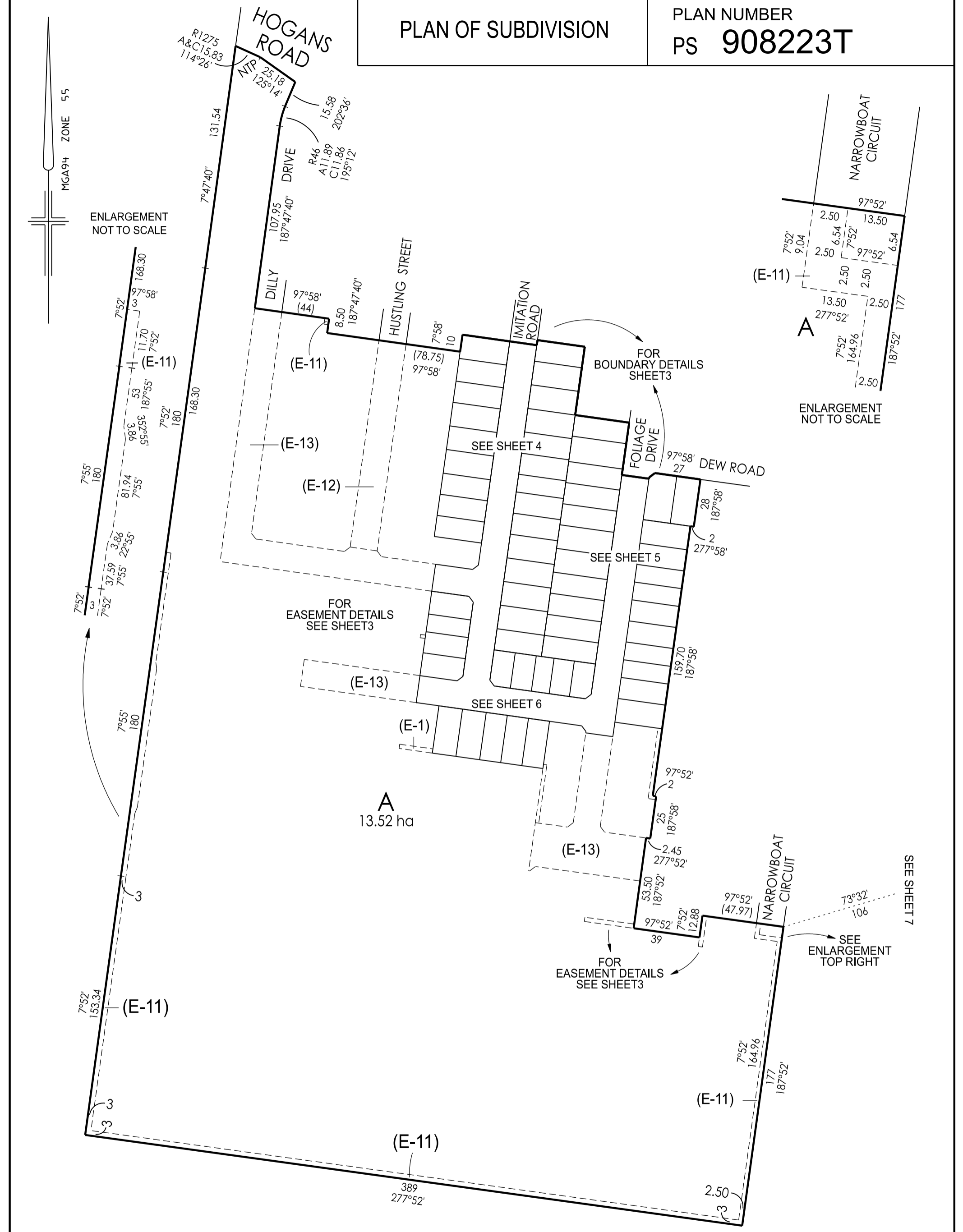
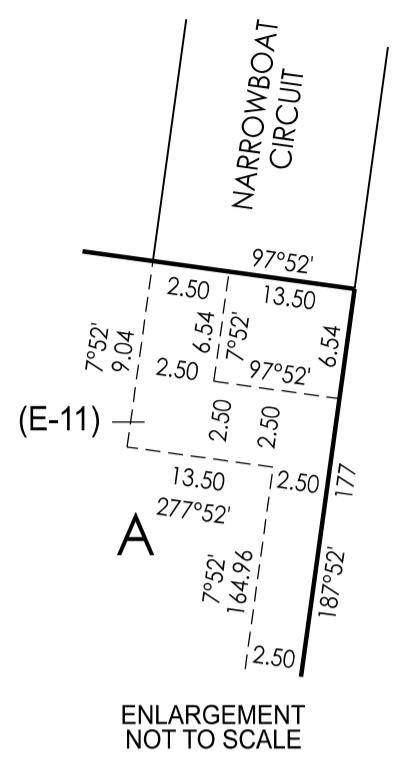
PLAN OF SUBDIVISION		LRS USE ONLY EDITION	PLAN NUMBER PS 908223T	
LOCATION OF LAND PARISH: TARNEIT TOWNSHIP: ----- SECTION: 8 CROWN ALLOTMENT: ----- CROWN PORTION: B (PART) TITLE REFERENCES: VOL FOL VOL FOL LAST PLAN REFERENCE: LOT A ON PS838524R LOT A ON PS902488M POSTAL ADDRESS: HOGANS ROAD (at time of subdivision) TARNEIT 3029 MGA 94 CO-ORDINATES: E: 292 650 ZONE: 55 (of approx. centre of plan) N: 5 807 140 DATUM: GDA94		COUNCIL NAME: WYNDHAM CITY COUNCIL		
VESTING OF ROADS OR RESERVES		NOTATIONS		
IDENTIFIER	COUNCIL/BODY/PERSON	TANGENT POINTS ARE SHOWN THUS: LOTS 1 TO 5300 (BOTH INCLUSIVE) AND EASEMENTS (E-3) TO (E-10) (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN		
ROAD R1 RESERVE No. 1	WYNDHAM CITY COUNCIL WYNDHAM CITY COUNCIL			
NOTATIONS		TOTAL ROAD AREA: 7712m² FURTHER PURPOSE OF PLAN: TO REMOVE THE EASEMENT SHOWN AS (E-13) ON PS902488M WHICH LIES WITHIN THE LAND IN THIS PLAN TO REMOVE THE EASEMENT SHOWN AS (E-2) ON PS902488M WHICH LIES WITHIN THE LAND IN THIS PLAN SHOWN AS LOT 5344 GROUND FOR REMOVAL: BY AGREEMENT, SECTION 6(1)(K)(iii) SUBDIVISION ACT 1988		
DEPTH LIMITATION DOES NOT APPLY				
SURVEY: THIS PLAN IS BASED ON SURVEY VIDE BP2735 THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No(s). 18 & 845 LAND NOT IN PROCLAIMED SURVEY AREA STAGING THIS IS NOT A STAGED SUBDIVISION PLANNING PERMIT No. WYP11051/18				
ESTATE: THE GROVE 53		AREA: 3.630 ha	No. OF LOTS: 60	MELWAY: 234:E:8
EASEMENT INFORMATION				
LEGEND: A - APPURTENANT E - ENCUMBERING EASEMENT R - ENCUMBERING EASEMENT (ROAD)				
EASEMENT REFERENCE	PURPOSE	WIDTH (METRES)	ORIGIN	LAND BENEFITED OR IN FAVOUR OF
(E-1)	SEWERAGE	SEE PLAN	THIS PLAN	GREATER WESTERN WATER CORPORATION
(E-2)	DRAINAGE	SEE PLAN	THIS PLAN	WYNDHAM CITY COUNCIL
(E-11)	SEWERAGE	SEE PLAN	PS902422U	GREATER WESTERN WATER CORPORATION
(E-12)	DRAINAGE	SEE PLAN	PS902422U	WYNDHAM CITY COUNCIL
(E-13)	SEWERAGE	SEE PLAN	THIS PLAN	GREATER WESTERN WATER CORPORATION
(E-13)	DRAINAGE	SEE PLAN	THIS PLAN	WYNDHAM CITY COUNCIL
(E-14)	SEWERAGE	SEE PLAN	PS902488M	GREATER WESTERN WATER CORPORATION
Breese Pitt Dixon Pty Ltd 1/19 Cato Street Hawthorn East Vic 3123 Ph: 8823 2300 Fax: 8823 2310 www.bpd.com.au info@bpd.com.au		REF: 8352/53	VERSION: 5	ORIGINAL SHEET SIZE A3
CHECKED EZ		DATE: 22/01/2024		
		LICENSED SURVEYOR: SIMON COX		SHEET 1 OF 8 SHEETS

PLAN OF SUBDIVISION

PLAN NUMBER
PS 908223T

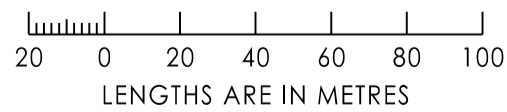


ENLARGEMENT
NOT TO SCALE



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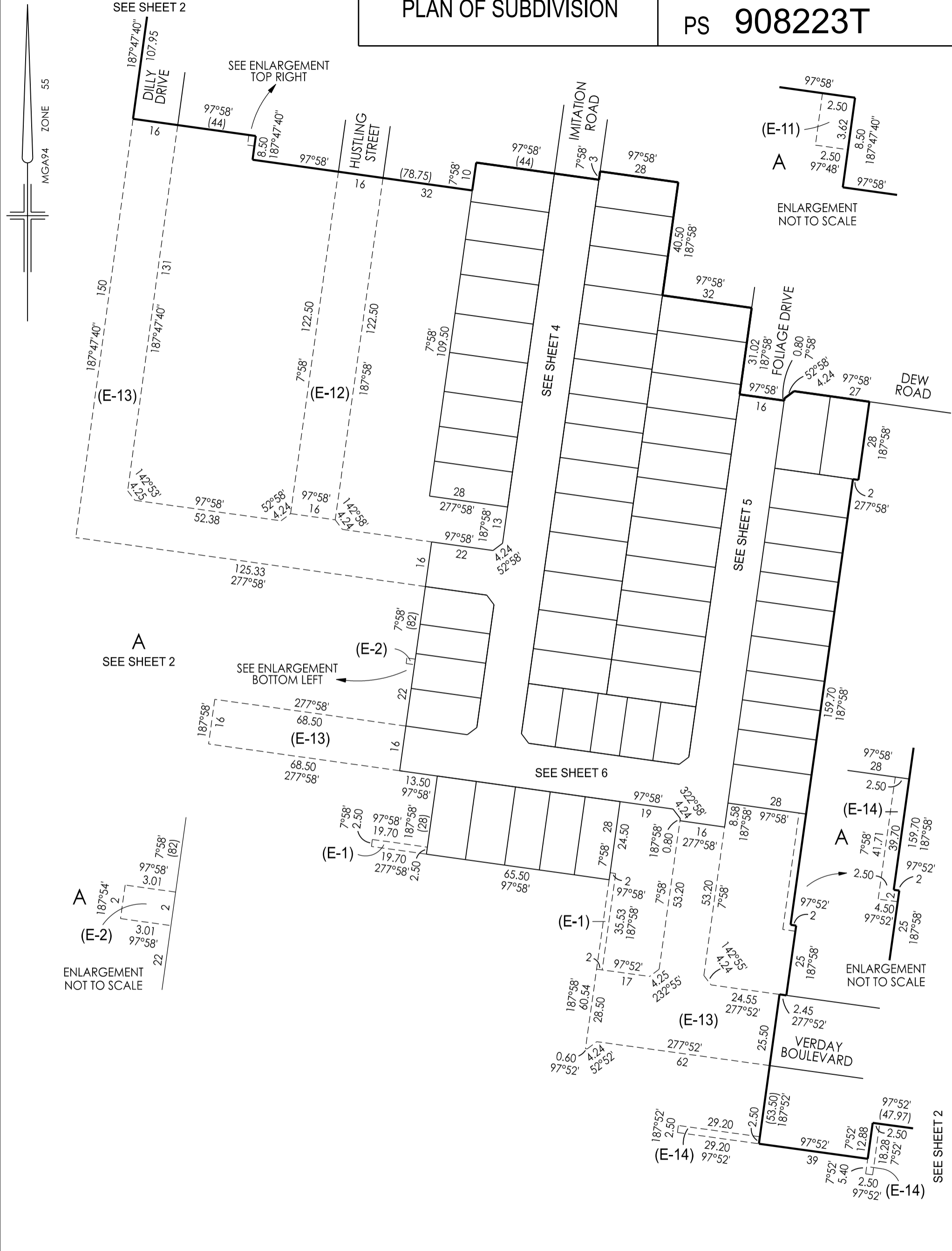


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LICENSED SURVEYOR: SIMON COX

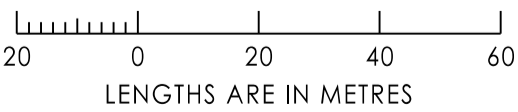
PLAN OF SUBDIVISION

PLAN NUMBER
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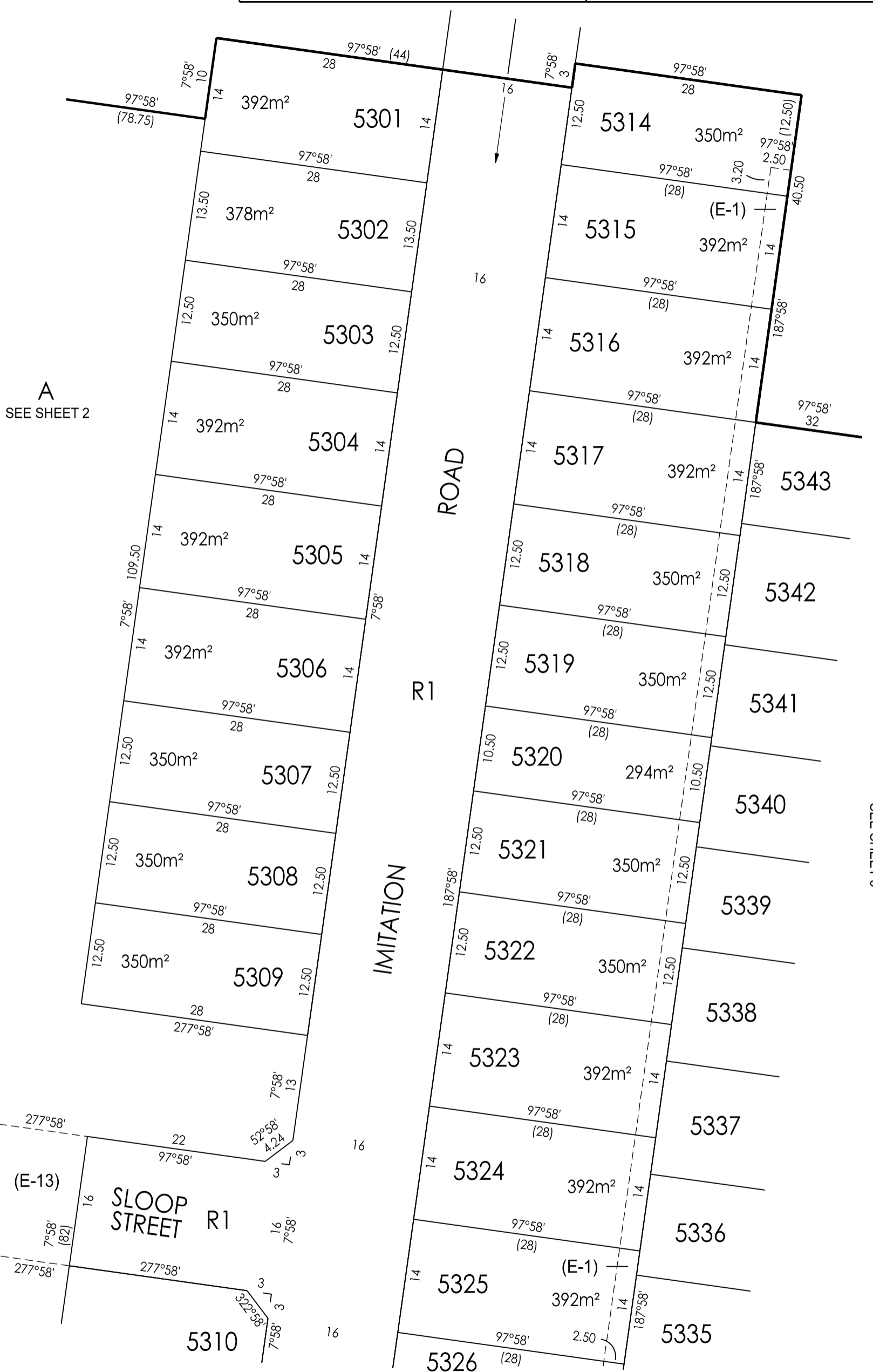
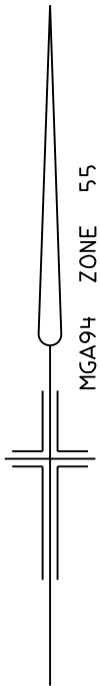
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REF: 8352/53

SHEET 3
VERSION: 5

LICENSED SURVEYOR: SIMON COX

PLAN OF SUBDIVISION

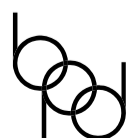
PLAN NUMBER
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A
SEE SHEET 2

SEE SHEET 5

SEE SHEET 6



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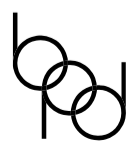
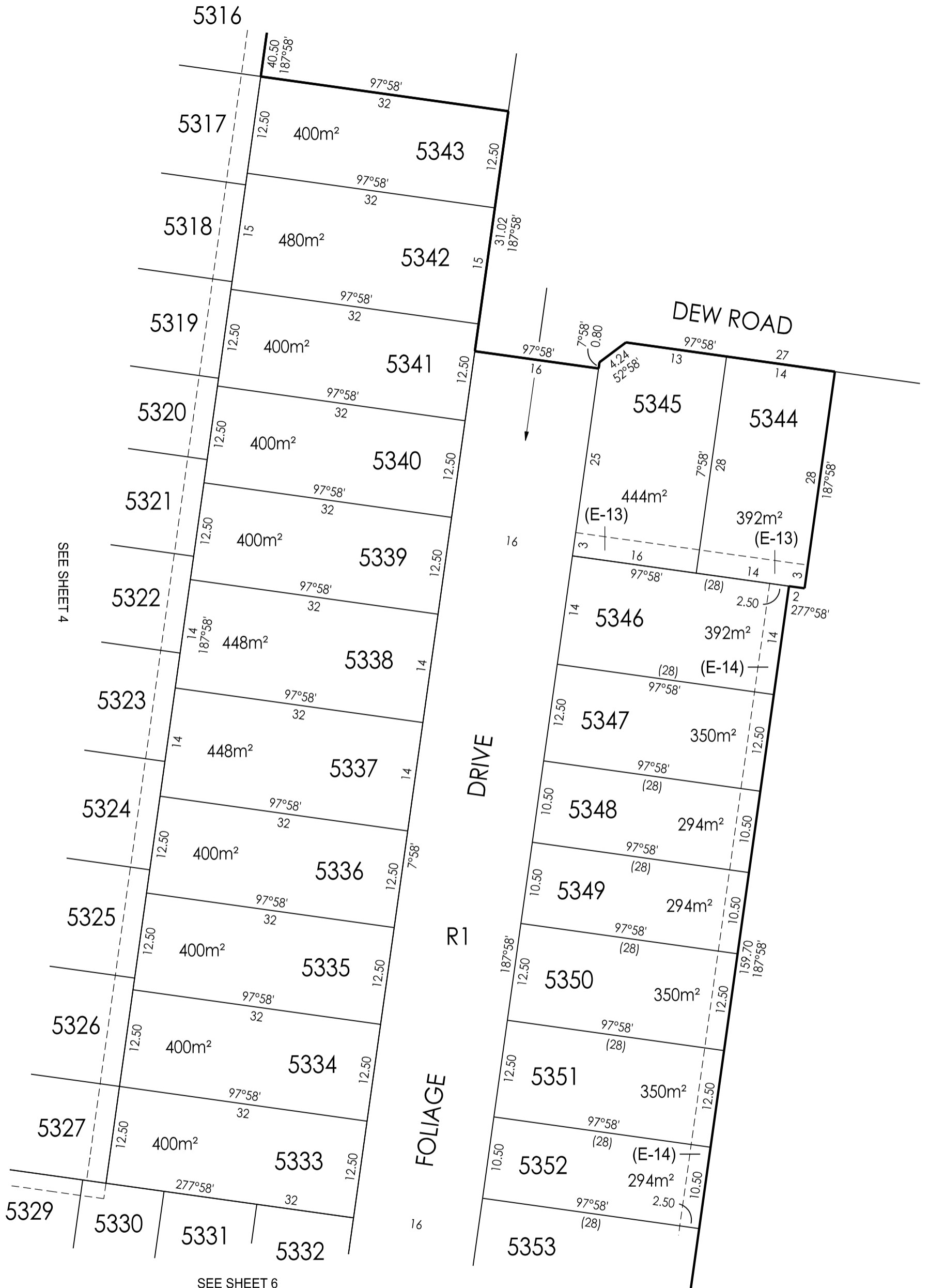
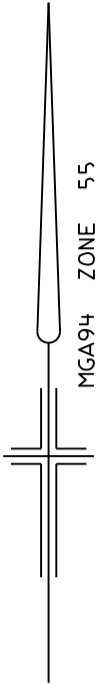
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SHEET 4
VERSION: 5

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PLAN OF SUBDIVISION

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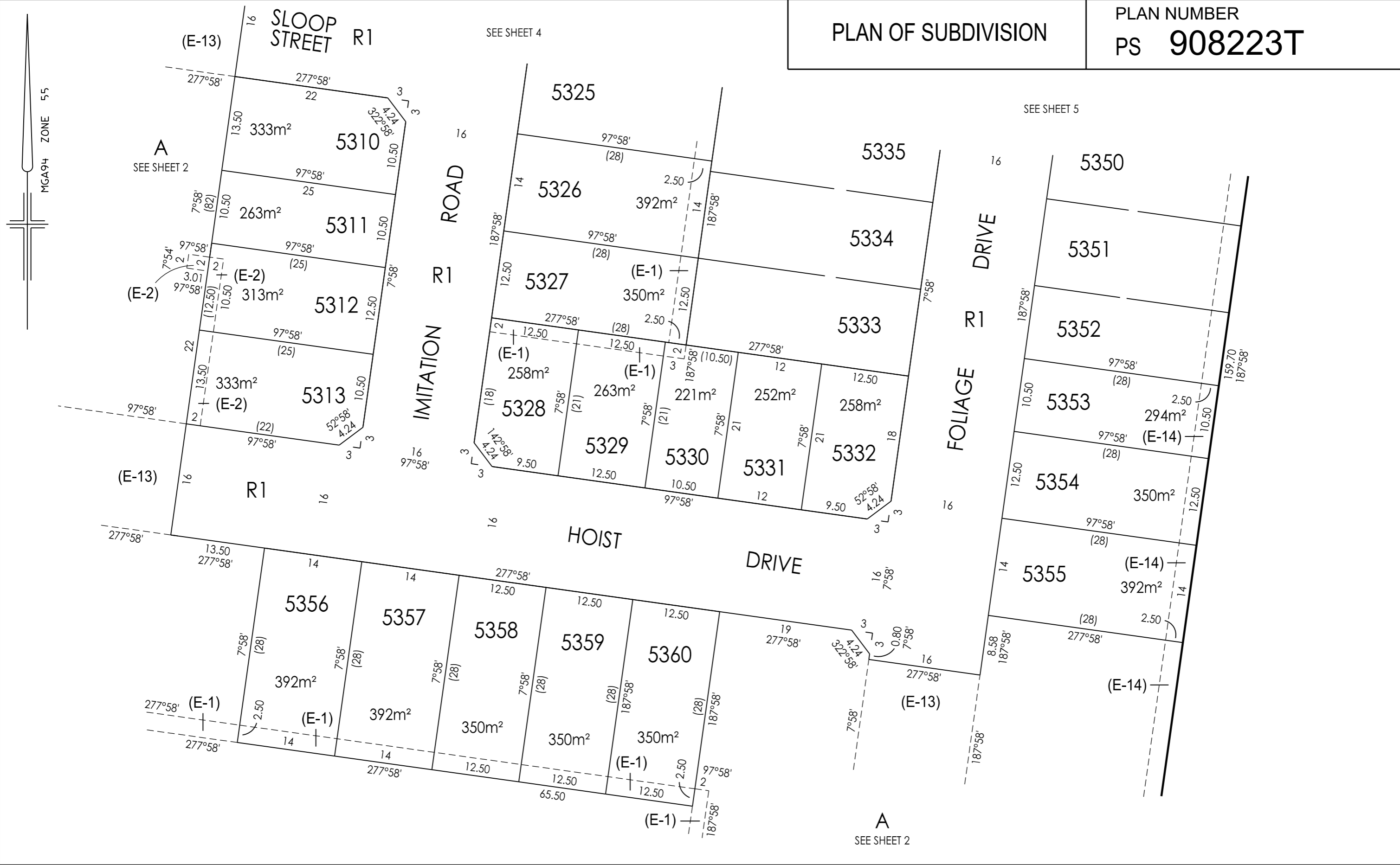
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SHEET 5
VERSION: 5

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PLAN OF SUBDIVISION

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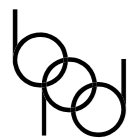
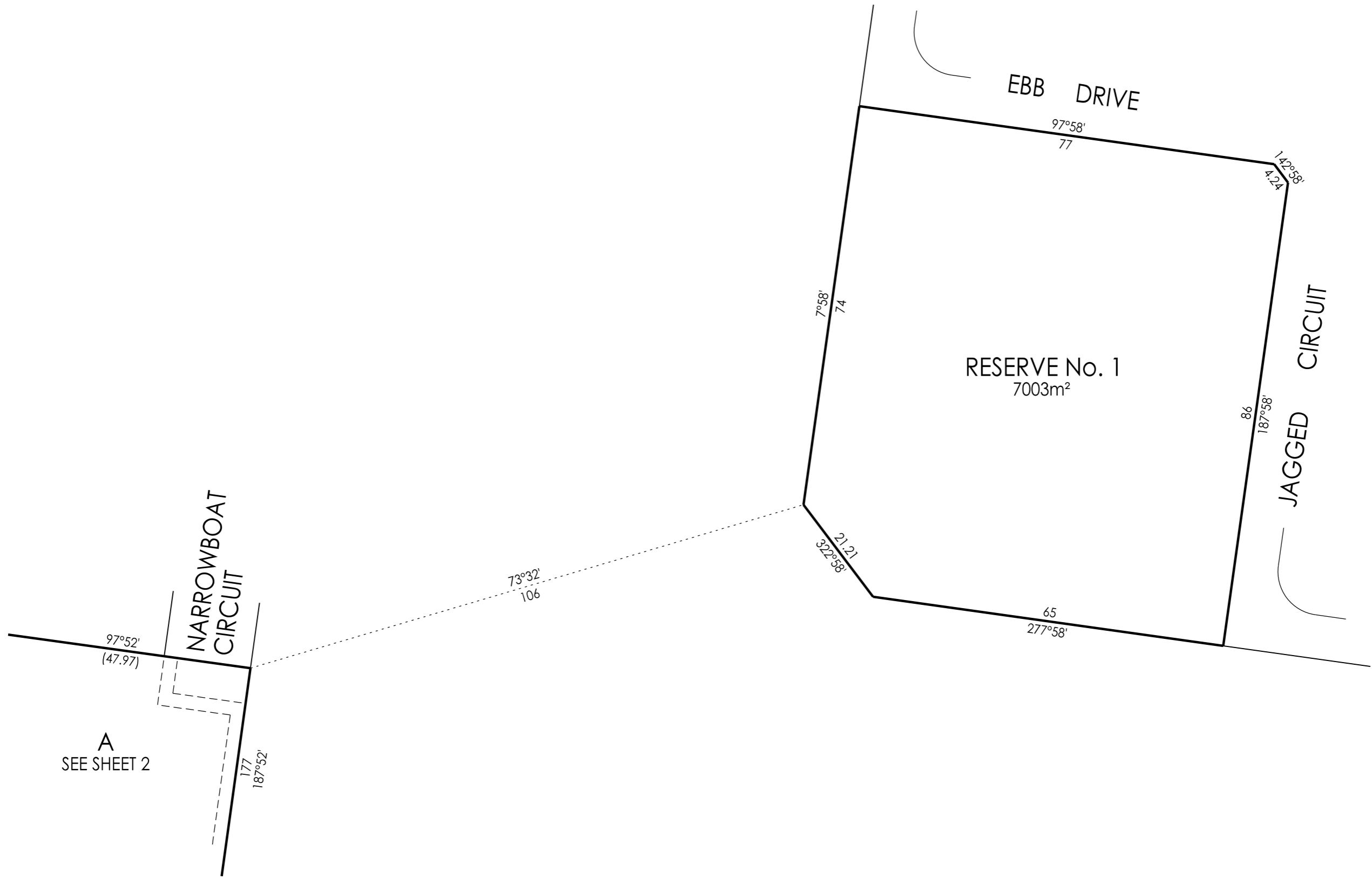
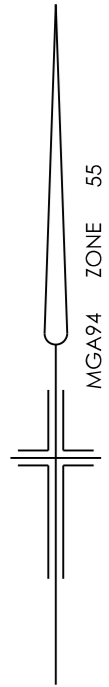


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ORIGINAL SHEET SIZE A3 SHEET 6

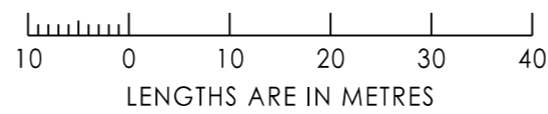
PLAN OF SUBDIVISION

PLAN NUMBER
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SHEET 7

SUBDIVISION ACT 1988
CREATION OF RESTRICTION

Upon registration of the plan, the following restriction is to be created.

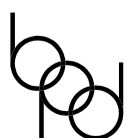
Land to benefit : Lots 5301 to 5360 (both inclusive).

Land to be burdened: Lots 5301 to 5360 (both inclusive).

Description of Restriction :

- (1) The registered proprietor or proprietors for the time being of any lot forming part of the Land to be burdened must not, without the permission of the Responsible Authority, construct or permit to be constructed;
- (a) Any building other than in accordance with MCP No. AA and;
 - (b) Any building unless the building incorporates dual plumbing for the use of recycled water for toilet flushing and garden watering where recycled water is available to the said lot and;
 - (c) In the case of lots less than 300m² any dwelling unless in accordance with the small lot housing code or unless a specific planning permit for the said dwelling has been obtained from Wyndham City Council.
For the purpose of this restriction the following applies:
Type A - Lots 5311, 5320, 5328 to 5332 (both inclusive), 5348, 5349, 5352 and 5353.
Type B - NIL.
- (2) The registered proprietor or proprietors for the time being of any lot forming part of the Land to be burdened must not build or permit to be built or remain on the lot or any part of it;
Any building on a lot unless the plans for such a building are endorsed as being in accordance with "The Grove Design & Siting Guidelines" prior to the issue of a building permit. The requirement for such endorsement shall cease to have effect on the lot after an occupancy permit under The Building Act 1993 is issued for the whole of the dwelling on the said lot.

Restriction (1) will cease to affect any of the burdened lots eight years after registration of this plan.



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SHEET 8

REF: 8352/53

VERSION: 5

LICENSED SURVEYOR: SIMON COX